

Lowdermilk Park Facilities Improvements

1301 Gulf Shore Blvd. North

Naples, Fla. 34102

Owner:
CITY OF NAPLES
SERVICES DEPARTMENT
280 RIVERSIDE CIRCL
NAPLES FL 34102
(239) 213 - 7120

Architect:
BSSW ARCHITECTS INC.
949 CENTRAL AVE.
NAPLES, FL 34102
(239) 643-3103 FAX (239) 275-5356

Civil/Site:
AGNOLI, BARBER, BRUNDAGE
7400 TRAIL BLVD, SUITE 200
NAPLES, FL 34108
(239) 597-3111

Structural:
SELECT STRUCTURAL
12573 NEW BRITANNY BLVD.
FORT MYERS, FL 33907
(239) 210-5090

General Information		
Sheet Number	Sheet Name	Sheet Issue Date
G0.01	Cover Sheet - Index, Project Team, Summary of Proposed Work, Code Conformance.	12-09-2022
G0.02	Area Plan, Architectural Site Plan, Life Safety Plan.	12-09-2022
G0.03	Location Map, Abbreviations, Symbols, Accessibility Notes.	12-09-2022

Architectural Sheets		
Sheet Number	Sheet Name	Sheet Issue Date
A0.01	Demolition Plans	12-09-2022
A0.02	Demolition Specifications	12-09-2022
A1.01	Floor Plans	12-09-2022
A2.01	Exterior Building Elevations	12-09-2022
A2.02	Reflected Ceiling Plan. Shower Deck Exterior Elevations.	12-09-2022
A3.01	Building Sections	12-09-2022
A4.01	Wall Sections	12-09-2022
A5.01	Ramp & Shower Deck Sections & Details.	12-09-2022
A6.01	Door Elevations & Schedules. Vent Schedule and Specification.	12-09-2022

Structural Sheets		
Sheet Number	Sheet Name	Sheet Issue Date
S0.01	General Information	12-09-2022
S1.01	Plans	12-09-2022
S2.01	Details	12-09-2022

PROJECT DESCRIPTION:

- THIS PROJECT IS THE REPLACEMENT OF AN EXISTING OPEN SHOWER DECK AT AN EXISTING ASSEMBLY OCCUPANCY - LOWDERMILK PARK FACILITY.
- THIS PROJECT INVOLVES PROVISION OF A HANDICAP RAMP TO ACCOMMODATE HANDICAP ACCESSIBLE ROLLING BEACH CHAIRS AND A STORAGE ROOM FOR THE ROLLING BEACH CHAIRS.
- THIS PROJECT ALSO INVOLVES PROVISION OF A JANITOR ROOM.
- JANITOR ROOM AND ROLLING BEACH CHAIR STORAGE ROOM WILL BE CONSTRUCTED UNDER THE EXISTING ROOF. THERE WILL BE NO ADDED FBC AREA INVOLVED WITH THIS PROJECT.
- THERE WILL BE NO INCREASE TO THE EXISTING BUILDING OCCUPANCY LOAD.
- THIS PROJECT IS LOCATED IN A V-ZONE.

PROJECT CLASSIFICATION:

THIS PROJECT IS CLASSIFIED AS A LEVEL 2, ALTERATION PER THE 2020 7TH EDITION OF THE FLORIDA EXISTING BUILDING CODE.

AS REQUIRED BY SECTIONS 4.6.7.2 OF THE FFPC 101, THIS PROJECT IS CLASSIFIED AS A MODIFICATION AS DEFINED IN SECTION 43.2.2.1.3 OF THE FFPC 101.

1. BUILDING SUMMARY		
Building Summary Category	FBC	FFPC
LEVEL OF WORK	RENOVATION	RENOVATION
NUMBER OF LEVELS	1	1
OVERALL SF	1010.3 SQ. FT.	1010.3 SQ. FT.
CONSTRUCTION TYPE (FBC CHPT. 6)	TYPE VB	TYPE VB
BUILDING FULLY SPRINKLERED	YES	YES
OCCUPANCY (FBC CHPT.3/FFPC CHPT. 6)	A-2 ASSEMBLY	A-2 ASSEMBLY

Space Occupancy Classification			
Classification	Area Per Occupant Per FBC T1004.5	Area per Occupant Per FFPC 7.3.1.2	Proposed Occupancy - Accessory Spaces
Assembly	15 SF	15 SF	NET 300 SF

Occupancy Breakdown			
	FBC	FFPC	
ROLLING CHAIR STORAGE AND JANITOR - ACCESSORY ROOMS TO AN A-2 ASSEMBLY OCCUPANCY	A-2	A-2	

1. MAJOR BUILDING ELEMENTS (PER FBC T601)			
BLDG ELEMENT	BLDG OCCR (HOURS)		PROPOSED RATING
	FBC	FFPC	
a. PRIMARY STRUCTURE FRAME (BEAMS, GIRDERS, COLUMNS, TRUSS)	0	NA	0
b. BEARING WALLS (EXTERIOR)	0	NA	0
c. BEARING WALLS (INTERIOR)	0	NA	0
d. NON BEARING WALLS/PARTITIONS (EXTERIOR)	0	NA	0
e. NON BEARING WALLS/PARTITIONS (INTERIOR)	0	NA	0
f. FLOOR CONSTRUCTION (AND SECONDARY MEMBERS)	0	NA	0
g. ROOF CONSTRUCTION (AND SECONDARY MEMBERS)	0	NA	0

C. BUILDING AREA & HEIGHT CALCULATIONS									
CONSTRUCTION TYPES		OCCUPANCY		ALLOWED AREA (GSF)		ALLOWED HT (STORIES)		PROPOSED HT (FEET) FBC	
FLR	FBC	FFPC	FBC	FFPC	FBC	FFPC	FBC	FFPC	COMMENTS
1	VB	NA	A-2 ASSEMBLY	34,000	NA	NA	1	60'	BUILDING IS EXISTING, NO ADDED FBC SQ. FT. NO ADDED FLOORS.

FIRE PROTECTION GENERAL NOTE -

EXISTING BUILDING IS FULLY SPRINKLERED. New enclosed rooms to be protected by an automatic Fire Sprinkler System. Separate permit required for Fire Sprinkler System. Permit to be submitted by a Licensed Fire Protection Contractor.

PER NFPA 1-13.8.2.5 - HIGH FLOW FIRE EXTINGUISHER WITH A DISCHARGE RATE OF 1 LB/SEC. (0.45gpm) OR MORE IS REQUIRED FOR CLASS B FIRES.

EXISTING BUILDING HAS AN EXISTING FULLY FUNCTIONING FIRE ALARM SYSTEM. IT IS NOT ANTICIPATED THAT THIS PROJECT WILL REQUIRE WORK TO THE EXISTING FIRE ALARM SYSTEM. SHOULD MODIFICATIONS OR WORK BE NEEDED, FIRE ALARM PERMITTING, DRAWINGS, DETAILS AND SPECIFICATIONS WILL BE "BY OTHERS".

- TERMINOLOGY**
- PROVIDE AN EPA-REGISTERED TERMINOLOGY COMPLIING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM TERMINOLOGY CONCENTRATION ALLOWED FOR EACH SPECIFIC USE, ACCORDING TO PRODUCT'S EPA-REGISTERED LABEL.
 - REFER TO TERMINATE CONTRACT WITH EPA-REGISTERED TERMINOLOGY FOR THE SPECIFIC REQUIREMENTS.

NOTE:
THE SCOPE OF WORK FOR THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE FLORIDA FIRE PREVENTION CODE 2020 7TH EDITION, NFPA 37, NFPA 110 AND APPLICABLE NFPA CODES/STANDARDS.

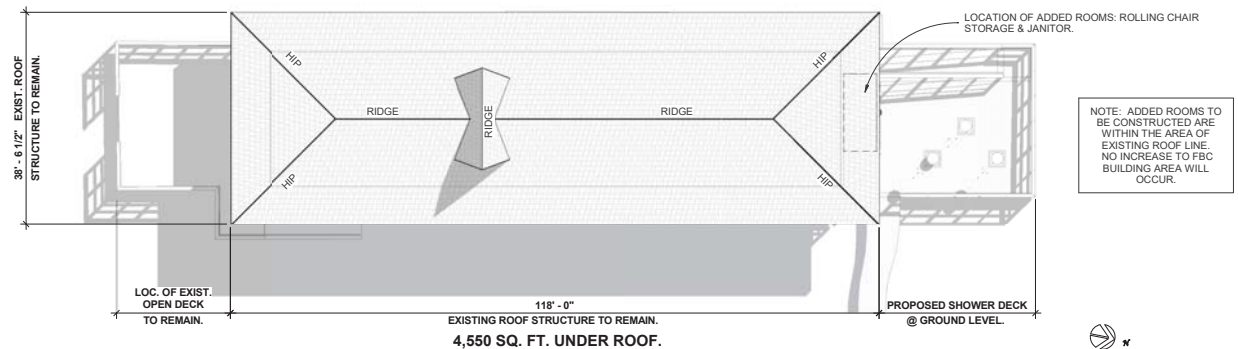
2.4 EGRESS WIDTH LEVEL				
OCCUPANCY TYPE	FBC	FBC REF.	FFPC	FFPC REF.
A-2	0.2	1005.3.2	0.2	7.3.3.1

2.8 MAX. DOOR LEAF WIDTH				
OCCUPANCY TYPE	FBC	FBC REF.	FFPC	FFPC REF.
A-2	48"	1010.1.1		

2.7 MIN. OPENING DIMENSIONS				
OCCUPANCY TYPE	FBC	FBC REF.	FFPC	FFPC REF.
A-2	32" x 80"	1010.1.1		

2.9 MIN. STAIR WIDTH				
OCCUPANCY TYPE	FBC	FBC REF.	FFPC	FFPC REF.
A-2	36"	1012.2		

- A. PREVAILING CODES & STANDARDS**
- FLORIDA BUILDING CODE (FBC) 7TH EDITION 2020
 - FLORIDA PLUMBING CODE (FPC) 7TH EDITION 2020
 - FLORIDA MECHANICAL CODE (FMC) 7TH EDITION 2020
 - FLORIDA FUEL GAS CODE (FFGC) 7TH EDITION 2020
 - FLORIDA ENERGY CONSERVATION CODE (FEC) 7TH EDITION 2020
 - FLORIDA ACCESSIBILITY CODE (FAC) 7TH EDITION 2020
 - FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION 2020
 - NATIONAL ELECTRIC CODE (NEC) 2017 EDITION
 - FIRE SPRINKLER REQUIREMENTS (NFPA 13) 2016 EDITION
 - FIRE ALARM REQUIREMENTS (NFPA 72) 2016 EDITION
 - FIRE UNDERGROUND REQUIREMENTS (NFPA 221) 2016 EDITION
 - FIRE PUMP REQUIREMENTS (NFPA 20) 2016 EDITION
 - PARKING GARAGE REQUIREMENTS (NFPA 88A) 2016 EDITION
 - STANDARDS FOR EMERGENCY AND STAND-BY POWER SYSTEMS (NFPA 110) 2016 EDITION
 - STANDARD FOR INSPIRATION PROTECTION AND MAINTENANCE OF WATER-BASED FIRE PROTECTION SYSTEMS (NFPA 25) 2017 EDITION



1
00.01 Existing Building Roof Plan
3/32" = 1'-0"



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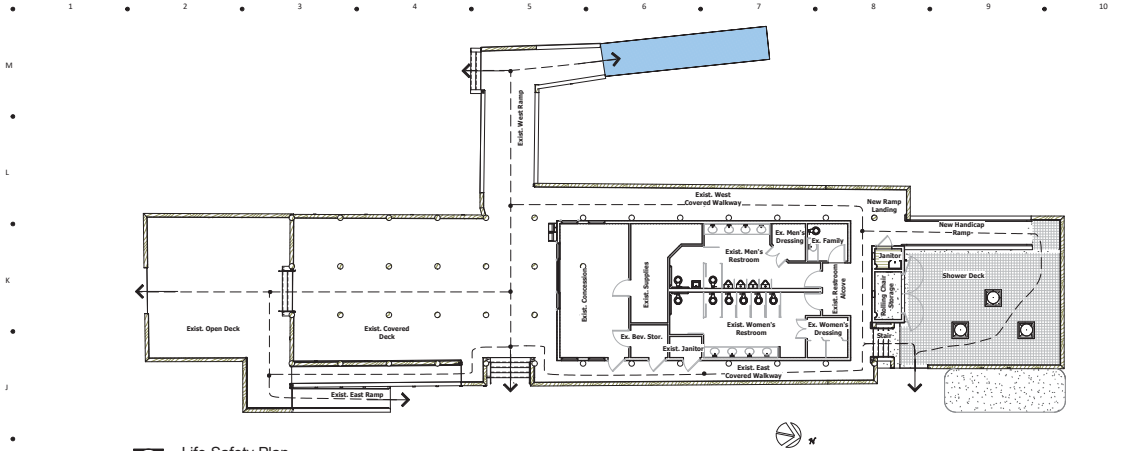
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PROJECT No. 2108.01
December 09, 2022

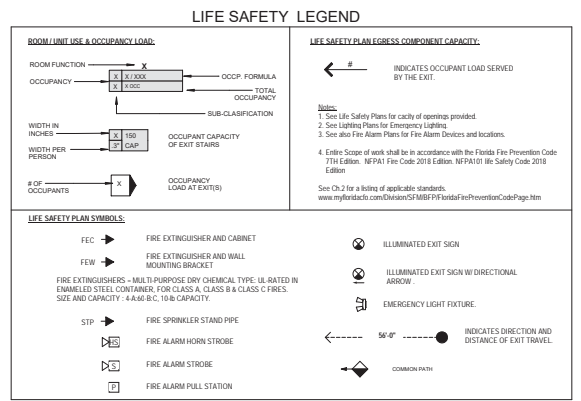
EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

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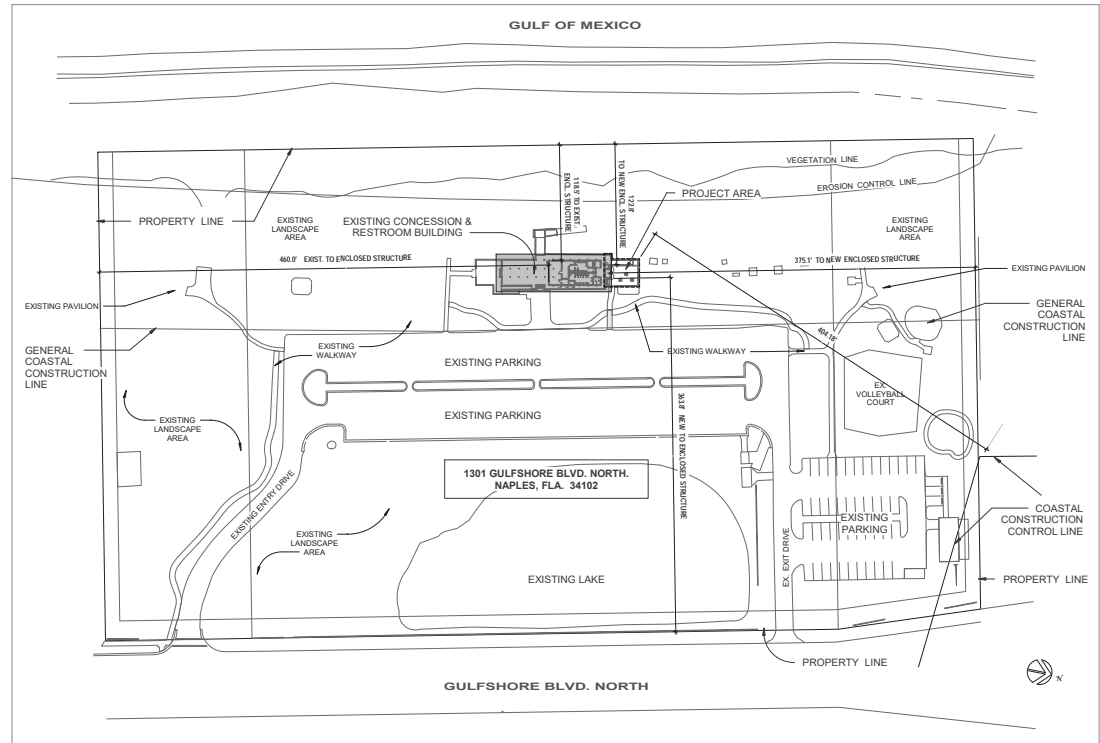
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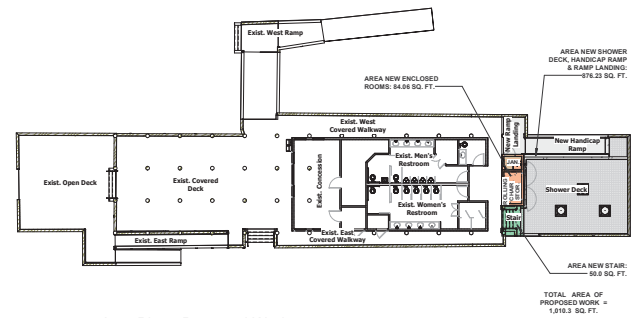
2
3/32" = 1'-0"



1
1/16" = 1'-0"



3
1" = 60'-0"



Project:
Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

City of Naples, Fla.

Consultant:



Project Phase:
Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No. Date Revision

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Sheet Title:
Area Plan, Architectural Site Plan, Life Safety Plan.

Sheet No.
GO.02

Autodesk Docs://27.03.01.Lowdermilk_Park_Facility_Improvement/27.03.01.Lowdermilk_Facility_Improvements_v27.01.dwg

A ARCHITECTURAL ABBREVIATIONS

AF	ABOVE FINISHED	HV	HARDWARE
AFG	ABOVE FINISHED GRADE	H	HEIGHT
AIR	AIR	HC	HORIZONTAL
ABV	ABOVE VENT	INS	INSULATION
AD	ARCHITECT'S DESIGN	IR	IRON
ADA	AMERICAN DISABILITIES ACT	LAV	LAVATORY
AHU	AIR HANDLING UNIT	MAS	MASS
ALL	ALL	MNS	MANUFACTURING
ALT	ALTERNATE	MCH	MECHANICAL
ASPH	ASPHALT	MFR	MATERIAL
AVG	AVERAGE	MISC	MISCELLANEOUS
B	BUILDING	MK	MILL
BGS	BATH	MPL	METAL PANEL
BLK	BLACK	MSP	METAL SPACING
BLOC	BLOCK	N	NOT TO SCALE
BLOCK	BLOCK	N#	NUMBER
BM	BENCH MARK	NM	NUMBER
BRC	BENCH MARK CENTER	NO	NUMBER
CD	CENTER TO CENTER	OH	OVER HANG
CD	CONCRETE	OS	OPENING
CD	CONCRETE	OS	OPENING
CJ	CONCRETE JOINT	OSP	OPENING SPACING
CT	CERAMIC TILE	P	POINT
CAB	CABINET	PC	PRECAST CONCRETE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE
CL	CENTRAL	PL	PROPERTY LINE

B GENERAL NOTES

A. WE CERTIFY, TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF THAT THE DESIGN OF THE PROJECT COMPLIES WITH THE APPLICABLE PROVISIONS OF THE REQUIREMENTS OF ARTICLE (NO.) OF THE REVISED STATUTES OF THE STATE AND THE FEDERAL ACCESSIBILITY ACT.

B. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.

C. ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.

D. THESE DRAWINGS ARE DIAGNOSTIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.

E. NO CHANGES, MODIFICATIONS OR ALTERATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.

F. WHERE LACK OF INFORMATION OR ANY INDETERMINACY SHOULD ARISE IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

G. ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN AND MET.

H. THE CONTRACTOR SHALL PAY FOR ALL FEES, PERMITS, LICENSES, ETC. NECESSARY FOR PROPER COMPLETION OF THE WORK.

I. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBstantial COMPLETION OR AS OTHERWISE REQUIRED IN THE SPEC.

J. PROVIDE ADEQUATE CONCEALED BLOODING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT. HIDEWAYS AND ACCESSORIES.

K. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION SYSTEM SHALL BE AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

L. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMMODATE THE RESULTANT WEIGHT OF ANY CONCEALED PIPING.

M. COORDINATE WITH ALL TRADES THE LOCATION OF SUBSTITUTES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.

N. IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO PROVIDE A COMPLETE FINISHED FACILITY. ANY MATERIAL, SYSTEM, EQUIPMENT OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR.

O. DISRUPTED EXISTING CONDITIONS (LANDSCAPING, LIGHTING, IRRIGATION, FEEDERS AND VEHICLE ACCESS) SHALL BE MINIMALLY REPAIRED AT THE END OF CONSTRUCTION TO THE SAME CONDITION PRIOR TO CONSTRUCTION DISRUPTION.

P. DISRUPTED ELECTRICAL AND WATER LINES RE-ROUTED DURING PROJECT CONSTRUCTION ARE TO REMAIN IN CONTINUOUS SERVICE.

Q. WHEN WORK IS NOT CALLED OUT AS REQUIRED TO COMPLETE THE PROJECT IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER AND BE OF THE BEST MATERIALS AND WORKMANSHIP.

R. DIMENSIONS ARE SHOWN FROM FACE STUO TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS NOTED OTHERWISE.

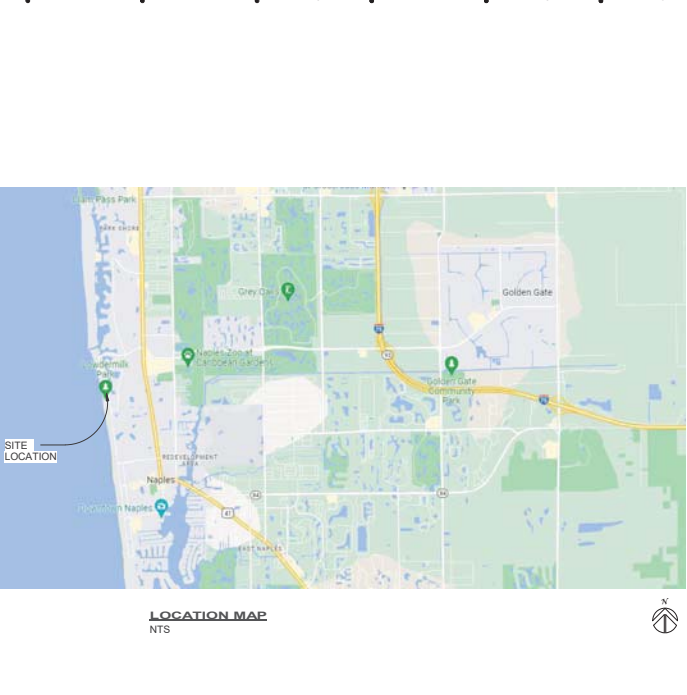
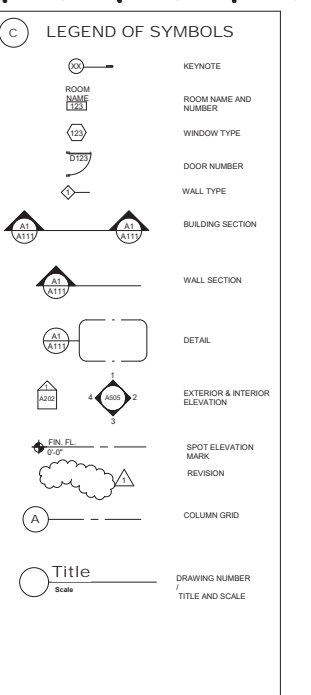
S. THE CONTRACTOR SHALL NOT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID. NO ALLOWANCES WILL BE MADE AFTER THE BID FOR EXISTING CONDITIONS OR THE CONTRACTOR FAILURE TO VERIFY EXISTING CONDITIONS.

T. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP UNDER THE CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK OF THIS CONTRACT BY THE OWNER AND THE ARCHITECT. ANY DEFECT DEVELOPING WITHIN THIS PERIOD, TRACABLE TO MATERIALS OR WORKMANSHIP, WHEN REPAIRS ARE MADE, SHALL BE MADE AT THE EXPENSE OF THE CONTRACTOR. NOT THE OWNER. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO CONTRACT SIGNING. AS NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF DEFECTIVE MATERIALS. ANY TIME DURING THE CONSTRUCTION PERIOD, OWNERS REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENT HEREON OR ON THE DRAWINGS WITHOUT COST TO THE OWNER OR ENGINEER.

U. PROVIDE A SETS OF SHOP DRAWINGS FOR ALL EQUIPMENT TO THE ENGINEER FOR APPROVAL. PRIOR TO ORDERING, EQUIPMENT INSTALLED WITHOUT APPROVAL SHALL BE SUBJECT TO REJECTION AND REPLACEMENT AT CONTRACTOR'S EXPENSE.

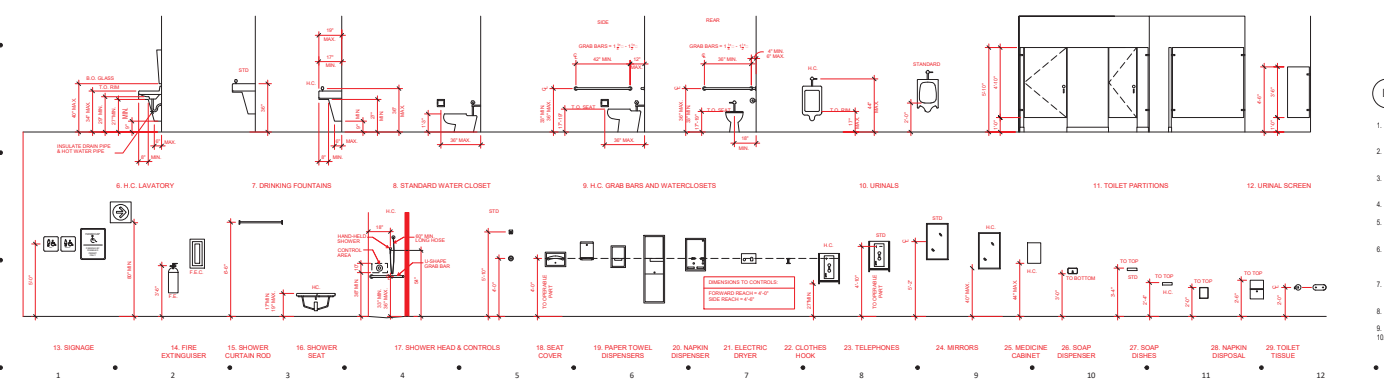
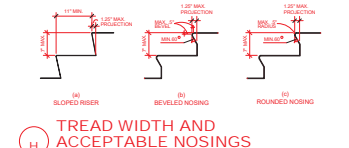
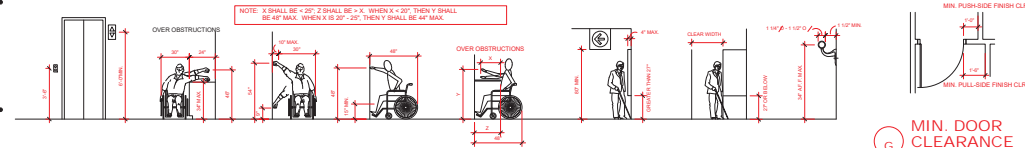
V. THE CONTRACTOR MUST BE DIFFERENT IN THE TYPE OF INSTALLATION. NO ALLOWANCES WILL BE MADE AFTER THE BID FOR FAILURE TO PROVIDE INSTALLATION PER NATIONAL AND LOCAL CODES.

W. THE ARCHITECT CERTIFIES TO THE ACCURACY OF THE ARCHITECT'S DESIGN ELEMENTS AND THE DIMENSIONS REFLECTED IN THESE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES TO THE DRAWINGS BY THE OWNER AND/OR THE OWNER'S AGENTS WHICH ALTER THE ARCHITECT'S DESIGN INTENT. UNDER THE DIMENSIONS INDICATED HEREIN, THE ARCHITECT SHALL BE PROPERLY NOTIFIED IN WRITING OF ANY SUCH CHANGES AND/OR ADJUSTIONS.



F FIXTURE MOUNTING HEIGHTS

THESE TYPICAL MOUNTING HEIGHTS SHALL BE USED UNLESS OTHERWISE NOTED



D ACCESSIBILITY NOTES

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) SHALL BE DISPLAYED AT ALL ACCESSIBLE RESTROOM FACILITIES AND AT ACCESSIBLE BUILDING ENTRANCES UNLESS ALL ENTRANCES ARE ACCESSIBLE. IN ACCESSIBLE ENTRANCES SHALL HAVE DIRECTIONAL SIGNS INDICATING THE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE. WHERE STORAGE FACILITIES SUCH AS CABINETS, SHELVES, CLOSETS AND DRAWERS ARE PROVIDED AT LEAST ONE OF EACH TYPE PROVIDED SHALL CONTAIN STORAGE SPACE COMPLYING WITH THE FORWARD AND SIDE REACH DIMENSIONS SHOWN AS PER FIG.
- WHERE EMERGENCY WARNING SYSTEMS ARE PROVIDED, THEY SHALL INCLUDE BOTH AUDIBLE AND VISUAL. ALARMS THE VISUAL ALARMS SHALL BE LOCATED THROUGHOUT, INCLUDING RESTROOMS AND PLACED 80 INCHES ABOVE THE FLOOR OR 8 INCHES BELOW THE CEILING, WHICHEVER IS LOWER.
- DOORS TO ALL ACCESSIBLE SPACES SHALL HAVE ACCESSIBLE HORIZONTAL (I.E. LEVER OPERATED, PUSH-TYPE, U-SHAPED) MOUNTED NO HIGHER THAN 48 INCHES ABOVE THE FLOOR.
- ALL DOORS SHALL BE OPERABLE BY A SINGLE EFFORT. THE MAXIMUM FORCE REQUIRED TO OPEN A DOOR SHALL NOT EXCEED 5 LBS. FOR EXTERIOR SWINGING DOORS AND 8 LBS. FOR ALL SLIDING, FOLDING AND INTERIOR SWINGING DOORS.
- FLOOR SURFACES SHALL BE STABLE, FIRM AND SLIP-RESISTANT. CHANGES IN LEVEL BETWEEN 0.25 INCH AND 0.5 INCH SHALL BE SMOOTHED WITH A SLOPE OF GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 0.5 INCH SHALL REQUIRE RAMP. CARPET THICKNESS SHALL BE 0.15 INCH. GRASSES IN FLOOR SHALL HAVE SPACES NO GREATER THAN 0.5 INCH WIDE IN ONE DIRECTION. DOORWAY THRESHOLDS SHALL NOT EXCEED 0.5 INCH IN HEIGHT. HOT WATER AND DRAIN PIPES UNDER ACCESSIBLE LAVATOIRES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. INSULATION OR PROTECTION MATERIAL MAY BE SET INSTALLED. THESE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER ACCESSIBLE LAVATOIRES AND SINKS.
- ACCESSIBLE LAVATOIRES AND SINKS SHALL HAVE ACCESSIBLE FACILITY (I.E. LEVER-OPERATED, PUSH-TYPE, ELECTRICALLY CONTROLLED).
- TOILET STALL DOORS SHALL BE THE SELF-CLOSING TYPE.
- A TOWEL DISPENSER SHALL BE LOCATED ADJACENT TO ALL ACCESSIBLE LAVATOIRES.

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Project:
**Lowdermilk Park
Facilities
Improvements
1301 Gulf Shore Blvd.
North
Naples, FL 34102**

Owner:
**City of
Naples, Fla.**

Consultant:

Scale:

Project Phase:
Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No. Date Revision

1
2
3

SEAL AND SIGNATURE OF ARCHITECT:

DANIEL A. SUMMERS
FL REG. NO. 15180
FOR THE FIRM

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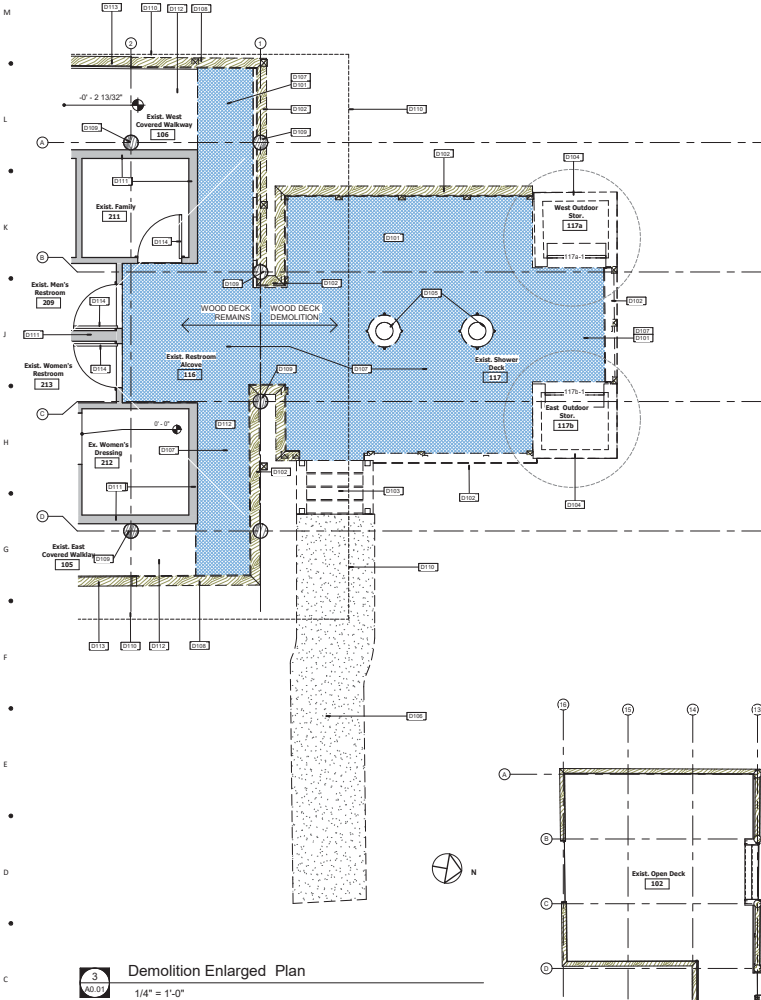
Location Map,
Abbreviations, Symbols,
Accessibility Notes.

Sheet No.
G0.03

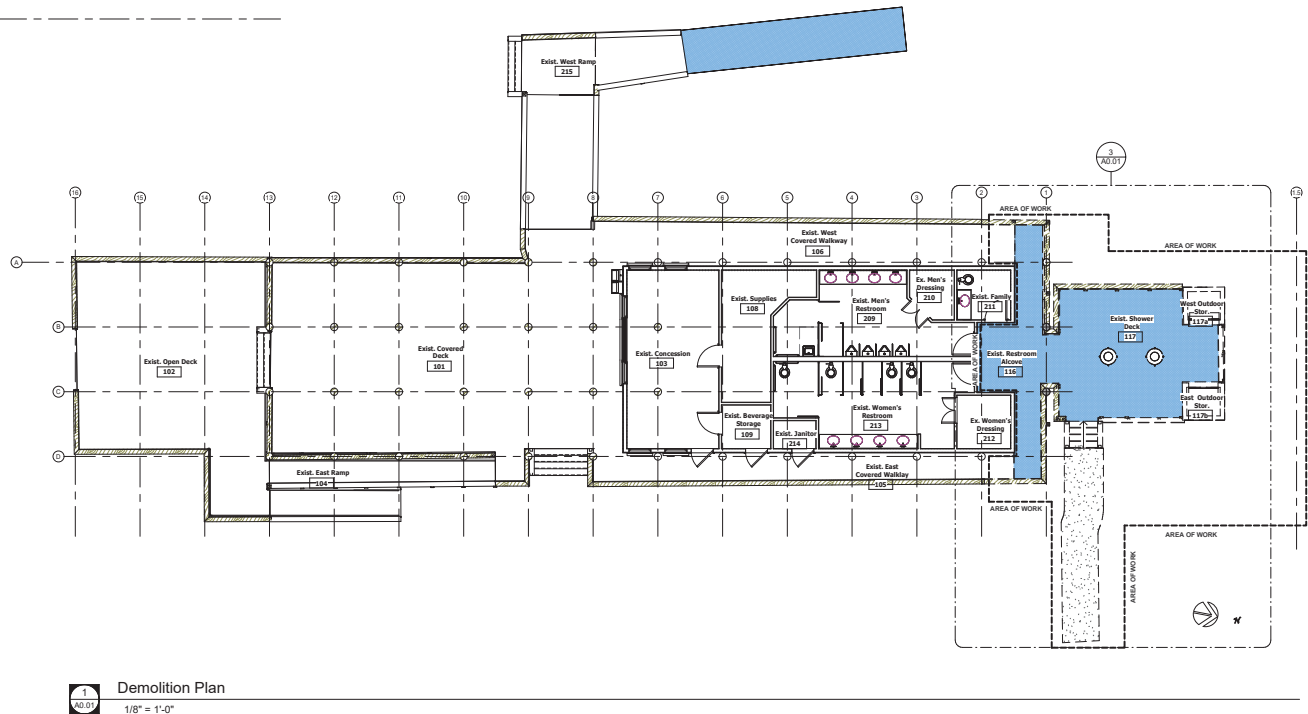
EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

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3 Demolition Enlarged Plan
1/4" = 1'-0"



1 Demolition Plan
1/8" = 1'-0"

Key Note Schedule - Demolition Plan	
KEY NOTE	Description
D101	ELEVATED WOOD DECK & SUPPORT STRUCTURE TO BE REMOVED.
D102	WOOD DECK RAILING TO BE REMOVED.
D103	WOOD STAIR TREADS, RISERS & SUPPORTS & WOOD RAILING TO BE REMOVED.
D104	OUTDOOR WOOD SHED WALLS, FLOOR, ROOF, SUPPORT STRUCTURE, AND OVERHEAD DOOR TO BE REMOVED.
D105	FRETST ANDING OUTDOOR SHOWER AND ASSOCIATED PLUMBING AND SUPPORT STRUCTURE TO BE REMOVED. NEW SHOWERS TO BE PROVIDED IN NEW LOCATION.
D106	CONCRETE SIDEWALK ON GRADE TO BE REMOVED AND REPLACED WITH SAND SET PAVERS.
D107	EXTERIOR VINYL FLOOR FINISH TO BE REMOVED.
D108	WOOD RAILING TO BE REMOVED AND REPLACED AS NEEDED PER THIS RENOVATION.
D109	ROUND WOOD STRUCTURAL COLUMN TO REMAIN.
D110	LINE OF EXISTING ROOF OVERHANGS ABOVE - NO ROOF DEMOLITION INVOLVED IN THIS PROJECT.
D111	WOOD FRAME WALLS TO REMAIN (SEE ELEVATED DECK HEIGHT).
D112	ELEVATED WOOD DECK TO REMAIN.
D113	WOOD DECK RAILING TO REMAIN.
D114	EXTERIOR DOOR & FRAME TO REMAIN.



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Naples, Fla. 34102

Owner:
**City of
Naples, Fla.**

Consultant:



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FOR THE FIRM

Project Phase:
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Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No.	Date	Revision

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Sheet Title:
Demolition Plans

Sheet No.
A0.01

EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

A:\asb\Draw\22-08-01_Lowdermilk_Park_Facility_Improvement\22-08_Lowdermilk_Facility_Improvements\Sheet 22-04

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SECTION 02070 - SELECTIVE DEMOLITION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, apply to this Section.
 1. Demolition and removal of selected portions of a building.
 2. Patching and repairs.
- B. Related Sections: The following Sections contain requirements that relate to this Section:
 1. Division 6 Section "Rough Carpentry" for material and construction requirements for temporary enclosures.
 2. Division 9 Section "Gypsum Board Assemblies" for material and construction requirements for temporary enclosures.

1.2 MATERIALS OWNERSHIP

- A. Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain the Owner's property, demolished materials shall become the Contractor's property and shall be removed from the site with further disposition at the Contractor's option.
- B. Historical items indicated remain the Owner's property. Carefully remove and salvage each item in a manner to prevent damage and deliver promptly to the Owner.

1.3 SUBMITTALS

- A. General: Submit each item in this Article, for information only, unless otherwise indicated.
- B. Proposed dust-control measures.
- C. Proposed noise-control measures.
- D. Schedule of selective demolition activities indicating the following:
 1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity.
 2. Interruption of utility services.
 3. Coordination for shutoff, capping, and continuation of utility services.
 4. Use of elevator and stairs.
 5. Detailed sequence of selective demolition and removal work to ensure uninterrupted progress of Owner's on-site operations.
 6. Coordination of Owner's continuing occupancy of portions of existing building and of Owner's partial occupancy of completed work.
 7. Locations of temporary partitions and means of egress.
- E. Inventory of items to be removed and salvaged.

G. Photographs or videotape, sufficiently detailed, of existing conditions of adjoining construction and site improvements that might be misconstrued as damage caused by selective demolition operations.

H. Record drawings at Project closeout according to Division 1 Section "Contract Closeout."

- 1. Identify and accurately locate capped utilities and other subsurface structural, electrical, or mechanical conditions.
- 2. Landfill records indicating receipt and acceptance of hazardous wastes by a landfill facility licensed to accept hazardous wastes.

1.4 QUALITY ASSURANCE

- A. Demolition Firm Qualifications: Engage an experienced firm that has successfully completed selective demolition Work similar to that indicated for this Project.
- B. Regulatory Requirements: Comply with governing EPA notification regulations before starting selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.

1.5 PROJECT CONDITIONS

- A. Owner will occupy portions of the building immediately adjacent to selective demolition area. Conduct selective demolition so that Owner's operations will not be disrupted. Provide not less than 72 hours' notice to Owner of activities that will affect Owner's operations.
- B. Owner assumes no responsibility for actual condition of buildings to be selectively demolished.
 1. Conditions existing at time of inspection for bidding purpose will be maintained by Owner as far as practical.
- C. Asbestos: It is not expected that asbestos will be encountered in the Work. If any materials suspected of containing asbestos are encountered, do not disturb the materials. Immediately notify the Architect and the Owner.
- D. Storage or sale of removed items or materials on-site by contractors will not be permitted.

1.6 SCHEDULING

- A. Arrange selective demolition schedule so as not to interfere with Owner's on-site operations.

1.7 WARRANTY

- A. Existing Special Warranty: Remove, replace, patch, and repair materials and surfaces cut or damaged during selective demolition, by methods and with materials so as not to void existing warranties.

PART 2 - PRODUCTS (Not Applicable)

2.1 REPAIR MATERIALS

- A. Use repair materials identical to existing materials.
 1. Where identical materials are unavailable or cannot be used for exposed surfaces, use materials that visually match existing adjacent surfaces to the fullest extent possible.
 2. Use materials whose installed performance equals or surpasses that of existing materials.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped.
- B. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- C. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with the intended function or design are encountered, investigate and measure the nature and extent of the conflict. Promptly submit a written report to the Architect.
- E. Survey the condition of the building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during selective demolition.
- F. Perform surveys as the Work progresses to detect hazards resulting from selective demolition activities.

3.2 UTILITY SERVICES

- A. Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
 1. Do not interrupt existing utilities serving occupied or operating facilities, except when authorized in writing by Owner and authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to Owner and to governing authorities.
 - a. Provide not less than 72 hours' notice to Owner if shutdown of service is required during change-over.
 2. Utility Requirements: Locate, identify, disconnect, and seal or cap off indicated utility services serving building to be selectively demolished.
 1. Owner will arrange to shut off indicated utilities when requested by Contractor.
 2. Arrange to shut off indicated utilities with utility companies.
 3. Where utility services are required to be removed, relocated, or abandoned, provide bypass connections to maintain continuity of service to other parts of the building before proceeding with selective demolition.
 4. Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal the remaining portion of pipe or conduit after bypassing.

3.3 PREPARATION

- A. Drain, purge, or otherwise remove, collect, and dispose of chemicals, gases, explosives, acids, flammables, or other dangerous materials before proceeding with selective demolition operations.
- B. Conduct demolition operations and remove debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied and used facilities.
 1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations.
- C. Conduct demolition operations to prevent injury to people and damage to adjacent buildings and facilities to remain. Ensure safe passage of people around selective demolition area.
 1. Erect temporary protection, such as walks, fences, railings, canopies, and covered passageways, where required by authorities having jurisdiction.
 2. Protect existing site improvements, appearances, and landscaping to remain.
 3. Erect a plainly visible fence around drip line of individual trees or around perimeter drip line of groups of trees to remain.
 4. Provide temporary weather protection, during interval between demolition and removal of existing construction, on exterior surfaces and new construction to ensure that no water leakage or damage occurs to structure or interior areas.
 5. Protect walls, ceilings, floors, and other existing finish work that are to remain and are exposed during selective demolition operations.
 6. Cover and protect furniture, furnishings, and equipment that have not been removed.
- D. Erect and maintain dustproof partitions and temporary enclosures to limit dust and dirt migration and to separate areas from fumes and noise.
 1. Construct dustproof partitions of not less than nominal 4-inch (100-mm) studs, 5/8-inch (16-mm) gypsum wallboard with joints taped on occupied side, and 1/2-inch (13-mm) fire-retardant plywood on the demolition side.
 2. Insulate partition to provide noise protection to occupied areas.
 3. Seal joints and perimeter. Equip partitions with dustproof doors and security locks.
 4. Protect air-handling equipment.
 5. Weather-strip openings.

- E. Provide and maintain interior and exterior shoring, bracing, or structural support to preserve stability and prevent movement, settlement, or collapse of building to be selectively demolished.

- 1. Strengthen or add new supports when required during progress of selective demolition.

3.4 POLLUTION CONTROLS

- A. Use water mist, temporary enclosures, and other suitable methods to limit the spread of dust and dirt. Comply with governing environmental protection regulations.
 1. Do not use water when it may damage existing construction or create hazardous or objectionable conditions, such as ice, flooding, and pollution.
- B. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
 1. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level.
- C. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before start of selective demolition.

3.5 SELECTIVE DEMOLITION

- A. Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete Work within limitations of governing regulations and as follows.
 1. Proceed with selective demolition systematically, from higher to lower level. Complete selective demolition work above each floor or tier before disturbing supporting members on lower levels.
 2. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. To minimize disturbance of adjacent surfaces, use hand or small power tools designed for sawing or grinding, not hammering and chopping. Temporarily cover openings to remain.
 3. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
 4. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain adequate ventilation when using cutting torches.
 5. Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.
 7. Remove framing members and lower to ground by method suitable to avoid free fall and to prevent ground impact or dust generation.
 8. Locate selective demolition equipment throughout the structure and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
 9. Dispose of demolished items and materials promptly. On-site storage or sale of removed items by contractors is prohibited.
 10. Return elements of construction and surfaces to remain to condition existing before start of selective demolition operations.
- B. Demolish concrete and masonry where applicable in small sections. Cut concrete at junctures with construction to remain, using power-driven masonry saw or hand tools; do not use power-driven impact tools.
- C. Remove air-conditioning equipment without releasing refrigerants.

3.6 PATCHING AND REPAIRS

- A. Promptly patch and repair holes and damaged surfaces caused to adjacent construction by selective demolition operations.
- B. Where repairs to existing surfaces are required, patch to produce surfaces suitable for new materials.
 1. Completely fill holes and depressions in existing masonry walls to remain with an approved masonry patching material, applied according to manufacturer's printed recommendations.
- C. Restore exposed finishes of patched areas and extend finish restoration into adjoining construction to remain in a manner that eliminates evidence of patching and refinishing.
- D. Patch and repair floor and wall surfaces in the new space where demolished walls or partitions extend one finished area into another. Provide a flush and even surface of uniform color and appearance.
 1. Closely match texture and finish of existing adjacent surface.
 2. Patch with durable seams that are as invisible as possible. Comply with specified tolerances.
 3. Where patching smooth painted surfaces, extend final paint coat over entire unbroken surface containing the patch after the surface has received primer and second coat.
 4. Remove existing floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance.
 5. Inspect and test patched areas to demonstrate integrity of the installation, where feasible.
- E. Patch, repair or re-hang existing ceilings as necessary to provide an even-plane surface of uniform appearance.

3.7 DISPOSAL OF DEMOLISHED MATERIALS

- A. General: Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site.
- B. Burning: Do not burn demolished materials.
- C. Disposal: Transport demolished materials off Owner's property and legally dispose of them.

3.8 CLEANING

- A. Sweep the project area broom clean on completion of selective demolition operation.
- B. Change filters on air-handling equipment on completion of selective demolition operations.

3.9 SELECTIVE DEMOLITION:

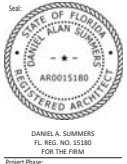
- A. See Demolition Plan in construction drawings.

END OF SECTION 02070



Project:
**Lowdermilk Park
 Facilities
 Improvements**
 1301 Gulf Shore Blvd.
 North
 Naples, Fla. 34102

Owner:
**City of
 Naples, Fla.**
 Consultant:



Project Phase:
Issued for Permit

Project #	2108.01	
Project Issued:	12-09-2022	
Sheet Issued:	12-09-2022	
No.	Date	Revision

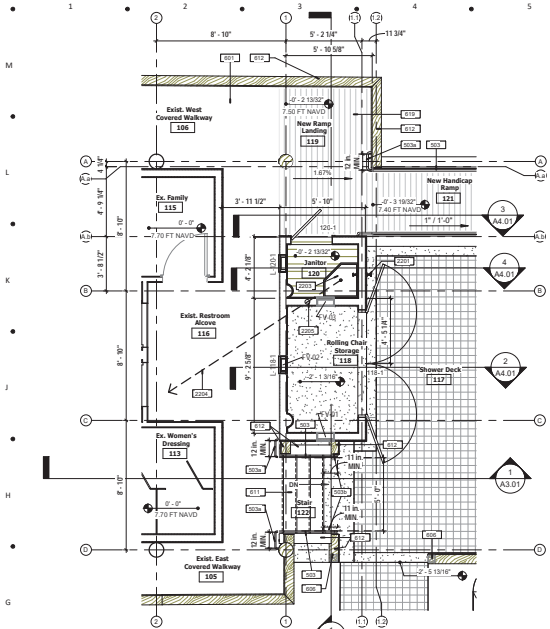


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 Sheet Title:
Demolition Specifications

Sheet No.
A0.02

EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

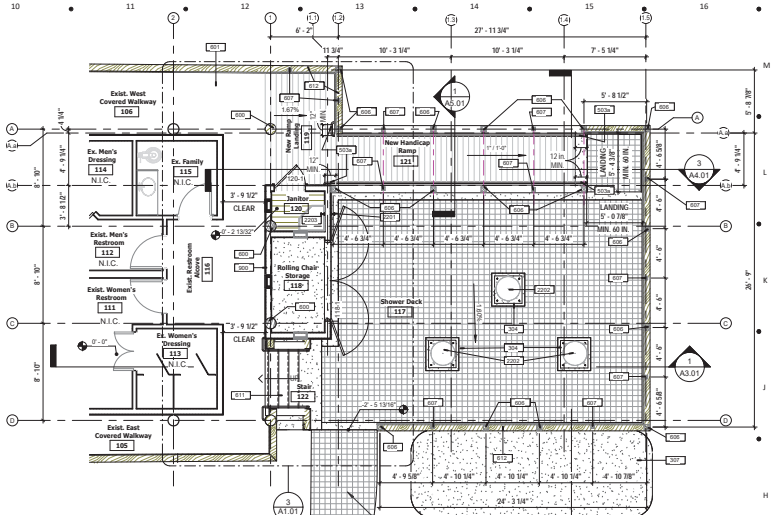
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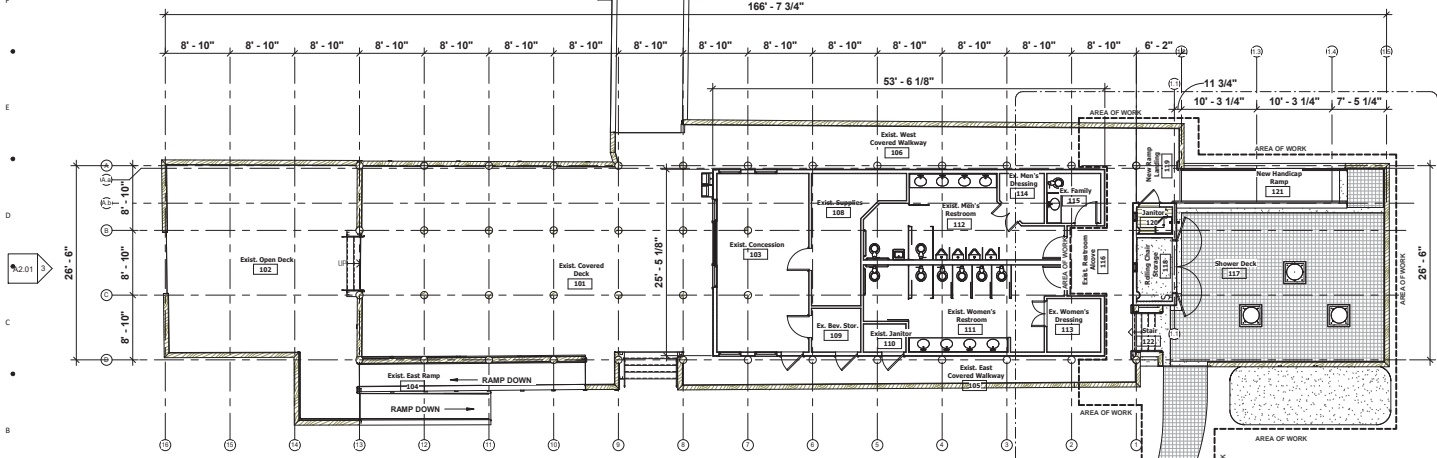
3 Enclosed Rooms - Enlarged Plan
1/4" = 1'-0"

Key Note Schedule	
KEY NOTE	Description
304	POURED IN PLACE 12" THICK REINF. CONCRETE SUPPORT PAD FOR NEW STAND ALONE SHOWER.
307	LOCATION OF NEW CONCRETE RETENTION - REFER TO SITE CIVIL BY OTHERS.
503	CONT. ALUM. HORIZONTAL HANDRAIL EXTENSION - MIN. 12" & 1 1/2" DIA. RETURN TO WALL OR FLOOR.
503a	CONT. ALUM. HORIZONTAL HANDRAIL EXTENSION - MIN. 11" & 1 1/2" DIA. SLOPED WITH STAIR RISE & RUN. RETURN TO FLOOR.
600	EXISTING ROUND WOOD COLUMN - REMAINS.
601	EXISTING EXTERIOR ELEVATED WOOD DECK.
606	NEW 6x8 PRESSURE TREATED WOOD RAILING POST.
607	NEW 4x4 PRESSURE TREATED WOOD RAILING POST.
611	NEW WOOD STAIR TREADS, RISERS & STRINGERS.
612	NEW PRESSURE TREATED WOOD GUARD RAIL MATCH EXISTING BUILDING RAILING.
619	NEW WOOD DECK TO BE PROVIDED AT TOP OF NEW HANDICAP RAMP. SEE ALSO STRUCTURAL.
900	NEW EXTERIOR FRAME WALLS. WALLS EXTEND TO EXISTING ROOF OVER HANG ABOVE.
2201	NEW ROSE BB TO BE PROVIDED.
2202	NEW STAINLESS STEEL OUTDOOR SHOWER TO BE PROVIDED.
2203	NEW COP SINK TO BE PROVIDED.
2204	NEW 2" SANITARY WASTE LINE. TIE INTO EXISTING WASTE.
2205	STUDDOR VENT TO BE PROVIDED.

- PLAN NOTES:**
- ALL DIMENSIONS ARE TO COLUMN CENTER LINES AND FACE OF STUD UNLESS NOTED OTHERWISE. (U.N.O.) OR AS INDICATED.
 - CLEAR FINISH DIMENSIONS ARE INDICATED AS "CLR".
 - FIELD VERIFY ALL EXISTING CONDITIONS.



2 Proposed Shower Deck Plan
3/16" = 1'-0"



1 Building Plan - Proposed Work
1/8" = 1'-0"



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Project:
**Lowdermilk Park
Facilities
Improvements**
1301 Gulf Shore Blvd.
North
Naples, Fla. 34102

Owner:
**City of
Naples, Fla.**

Consultant:



DANIEL A. SUMMERS
FL REG. NO. 15180
FOR THE FIRM

Project Phase:
Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
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Sheet Title:
Floor Plans

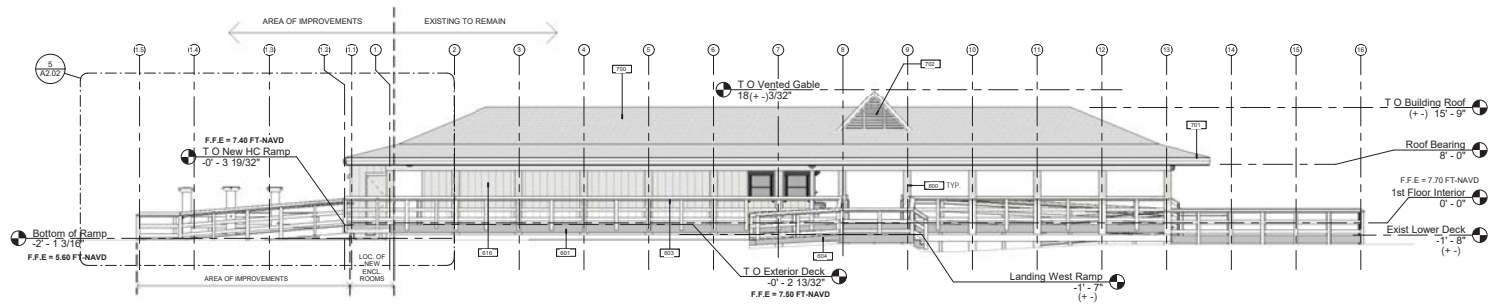
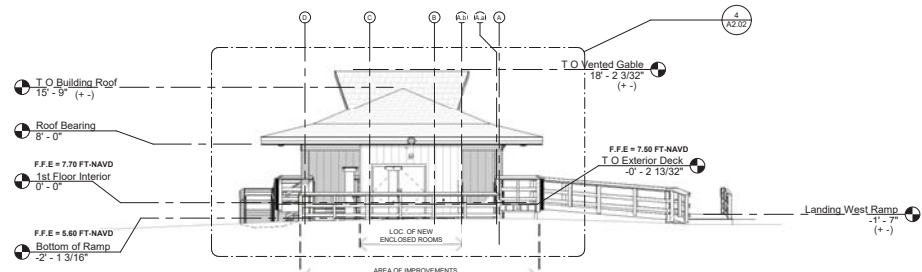
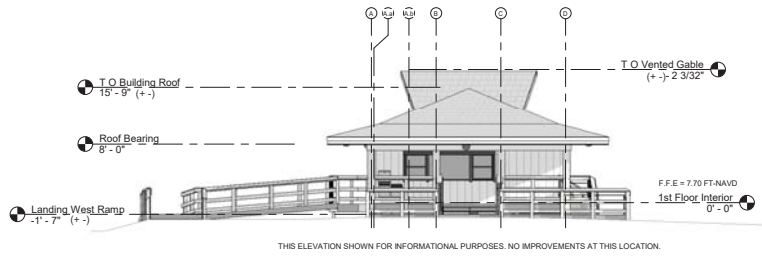
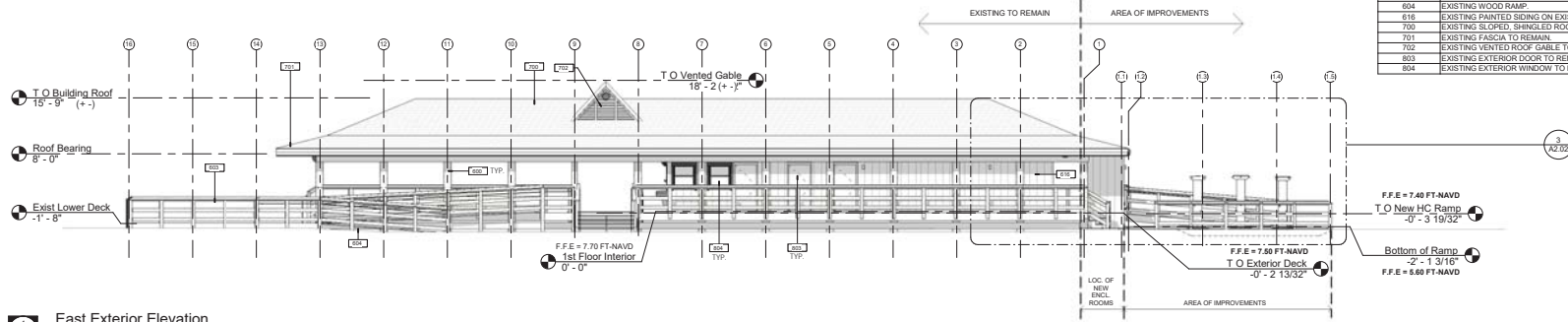
Sheet No.
A1.01

EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

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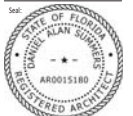
Key Note Schedule	
KEY NOTE	Description
600	EXISTING ROUND WOOD COLUMN - REMAINS.
601	EXISTING EXTERIOR ELEVATED WOOD DECK.
603	EXISTING EXTERIOR WOOD RAMP.
604	EXISTING WOOD RAMP.
618	EXISTING PAINTED SIDING ON EXISTING EXTERIOR TO REMAIN.
700	EXISTING SLOPED, SHINGLED ROOF TO REMAIN.
701	EXISTING FASCIA TO REMAIN.
702	EXISTING VENTED ROOF GABLE TO REMAIN.
803	EXISTING EXTERIOR DOOR TO REMAIN.
804	EXISTING EXTERIOR WINDOW TO REMAIN.



Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

City of Naples, Fla.

Consultant:



Project Phase:
Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No. Date Revision

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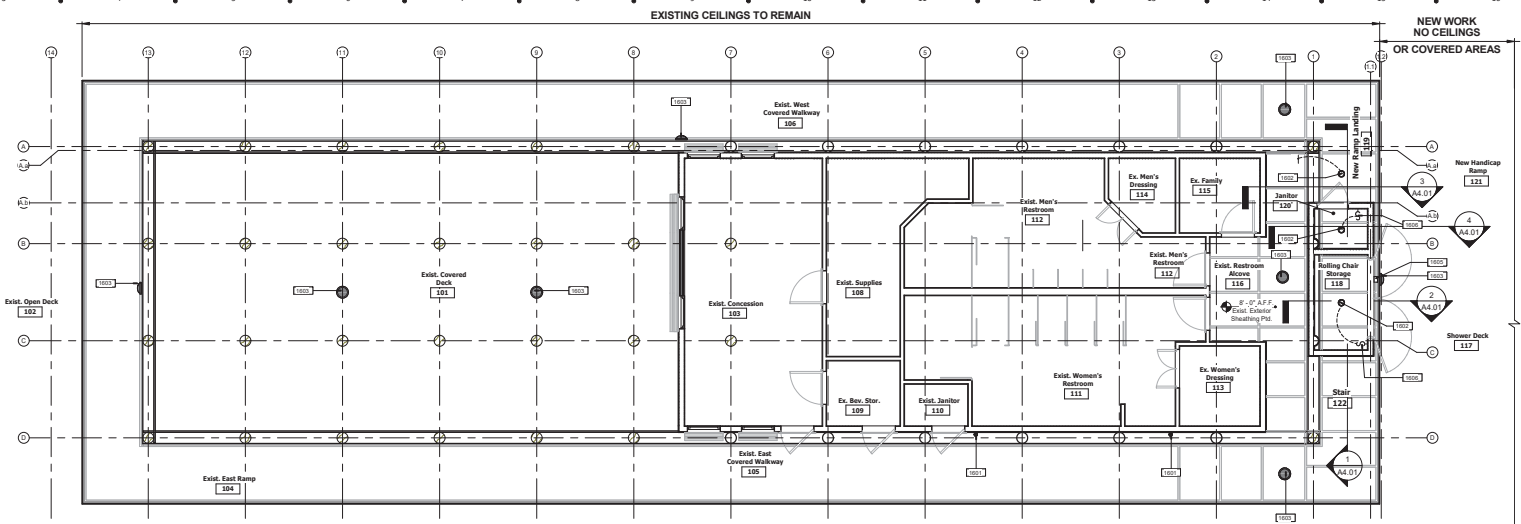
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Sheet Title:
Exterior Building Elevations

Sheet No.
A2.01

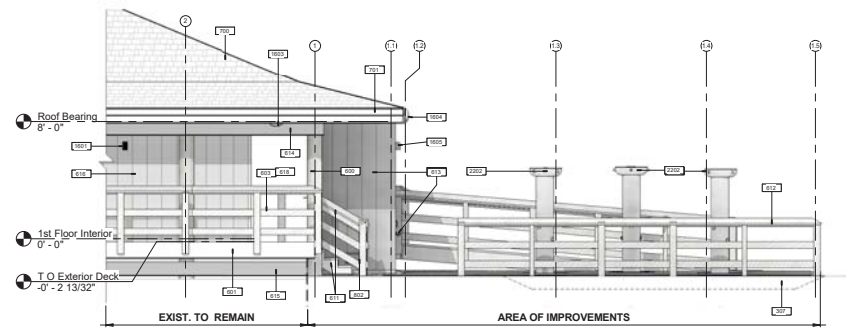
EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

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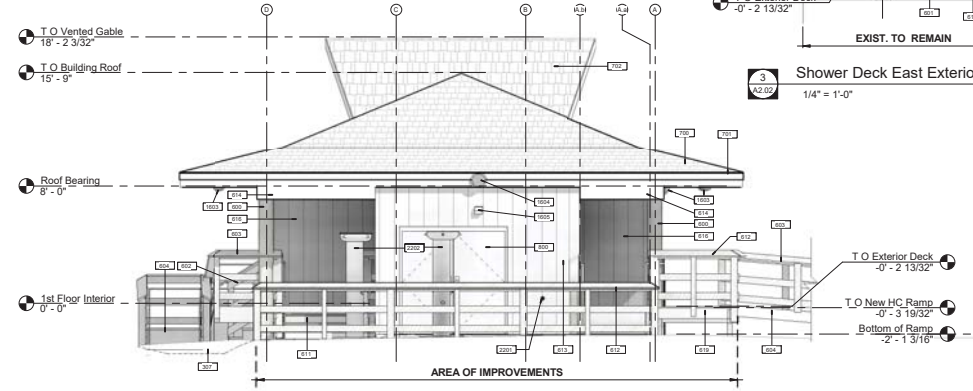
KEY NOTE	Description
307	LOCATION OF NEW CONCRETE RETENTION - REFER TO SITE CIVIL "BY OTHERS".
600	EXISTING ROUND WOOD COLUMN - REMAINS.
601	EXISTING EXTERIOR ELEVATED WOOD DECK.
602	EXISTING WOOD STAIR TREADS AND RISERS.
603	EXISTING EXTERIOR WOOD RAILING.
604	EXISTING WOOD RAMP.
611	NEW WOOD STAIR TREADS, RISERS & STRINGERS.
612	NEW PRESSURE TREATED WOOD GUARD RAIL. MATCH EXISTING BUILDING RAILING.
613	NEW PAINTED WOOD 5/8" P.T. Siding ON NEW EXTERIOR WALL W/ 1/2" P.T. VERT. WOOD BATTING. MATCH EXISTING SIDING & FINISH.
614	EXISTING 2X WOOD ROOF BEAM ATTACHED TO EXISTING ROUND WOOD COLUMN & TO REMAIN.
615	EXISTING 2X WOOD FLOOR BEAM ATTACHED TO EXISTING ROUND WOOD COLUMN & TO REMAIN.
616	EXISTING PAINTED SIDING ON EXISTING EXTERIOR TO REMAIN.
617	NEW HANDICAP ACCESSIBLE RAMP. SEE STRUCTURAL SHEETS.
618	REMOVE RAIL AS NEEDED TO PERFORM WORK. REPLACE TO MATCH EXISTING.
619	NEW WOOD DECK TO BE PROVIDED AT TOP OF NEW HANDICAP RAMP. SEE ALSO STRUCTURAL SHEETS.
700	EXISTING SHIPED, SHINGLED ROOF TO REMAIN.
701	EXISTING FASCIA TO REMAIN.
702	EXISTING VENTED ROOF GABLE TO REMAIN.
800	NEW IMPACT RESISTANT EXTERIOR DOOR & FRAME.
802	NEW FLOOR VENT TO BE PROVIDED IN NEW EXTERIOR WALL.
1601	EXISTING EXTERIOR LIGHT FIXTURE.
1603	EXISTING SECURITY CAMERA.
1604	NEW SECURITY CAMERA. DESIGN, DETAILS, INSTALLATION & PERMITTING "BY OTHERS".
1605	NEW EXTERIOR WALL MOUNTED LIGHT FIXTURE ON PHOTO CELL.
1606	WALL MOUNTED EXTERIOR SINGLE POLE LIGHT SWITCH.
2201	NEW HOSE BIB TO BE PROVIDED.
2202	NEW STAINLESS STEEL OUTDOOR SHOWER TO BE PROVIDED.



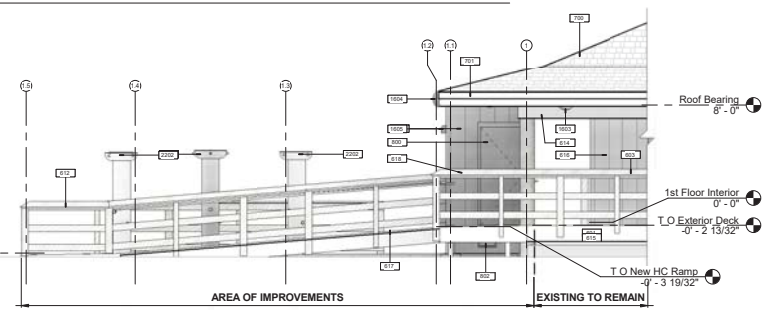
2 Proposed Ceiling Plan
3/16" = 1'-0"



3 Shower Deck East Exterior Elevation
1/4" = 1'-0"



4 Shower Deck North Exterior Elevation
1/4" = 1'-0"



5 Shower Deck West Exterior Elevation
1/4" = 1'-0"

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Project:
**Lowdermilk Park
Facilities
Improvements
1301 Gulf Shore Blvd.
North
Naples, Fla. 34102**

Owner:
**City of
Naples, Fla.**

Consultant:



DANIEL A. SUMMERS
FL REG. NO. 13180
FOR THE FIRM

Project Phase:
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Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No. Date Revision

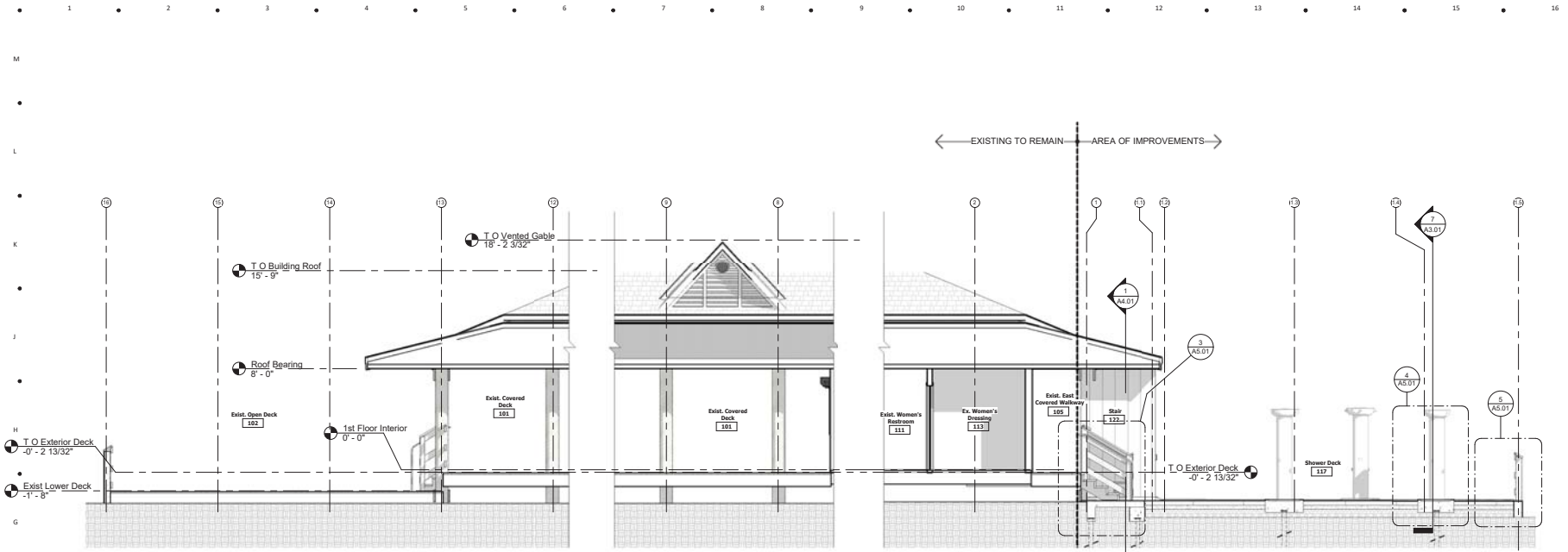
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Sheet Title:
**Reflected Ceiling Plan.
Shower Deck Exterior
Elevations.**

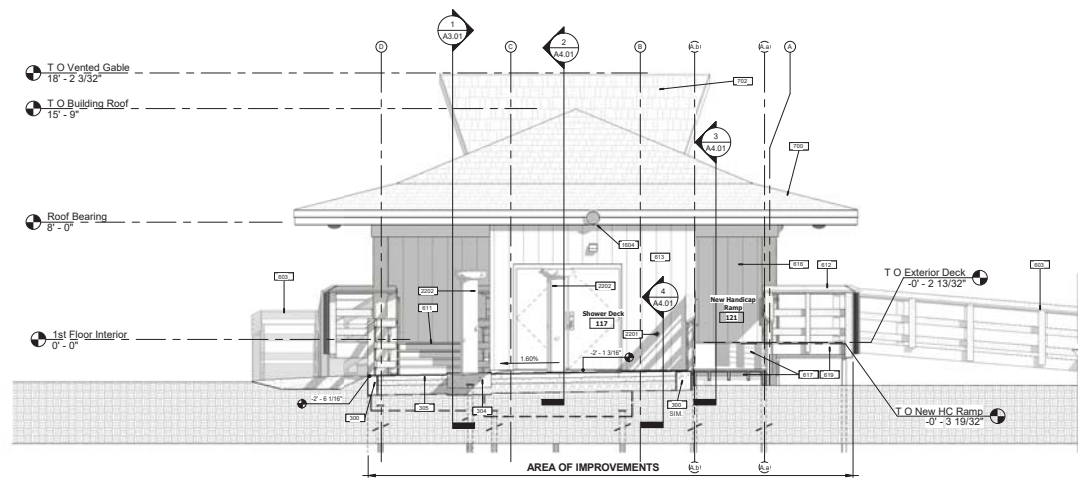
EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

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1 Building Section S - N
1/4" = 1'-0"



7 Building Section E - W
1/4" = 1'-0"

Key Note Schedule	
KEY NOTE	Description
300	POURED IN PLACE REINFORCED CONCRETE CURB 8" WIDE X 16" DEEP, TOP OF CURB AT FLOOR LEVEL.
304	POURED IN PLACE 12" THICK REINFORCED CONCRETE SUPPORT PAD FOR NEW STAND ALONG SHOWER.
305	6X6 SAND SET CONCRETE PAVERS ON LIMEROCK BASE.
603	EXISTING EXTERIOR WOOD RAILING.
611	NEW WOOD STAIR TREADS, RISERS & STRINGERS.
612	NEW PRESSURE TREATED WOOD GUARD RAIL MATCH EXISTING BUILDING RAILING.
613	NEW PAINTED WOOD SIPR T. SINGING ON NEW EXTERIOR WALL W/ 1X2 P.T. VERT. WOOD BATTING. MATCH EXISTING SIDING & FINISH.
616	EXISTING PAINTED SIDING ON EXISTING EXTERIOR TO REMAIN.
617	NEW HANDICAP ACCESSIBLE RAMP. SEE STRUCTURAL SHEETS.
619	NEW WOOD DECK TO BE PROVIDED AT TOP OF NEW HANDICAP RAMP. SEE ALSO STRUCTURAL.
700	EXISTING SLOPED, SHINGLED ROOF TO REMAIN.
702	EXISTING VENTED ROOF GABLE TO REMAIN.
1604	NEW SECURITY CAMERA. DESIGN, DETAILS, INSTALLATION & PERMITTING BY OTHERS.
2201	NEW HOSE BIBS TO BE PROVIDED.
2202	NEW STAINLESS STEEL OUTDOOR SHOWER TO BE PROVIDED.



Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

City of Naples, Fla.
Consultant:



Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No.	Date	Revision
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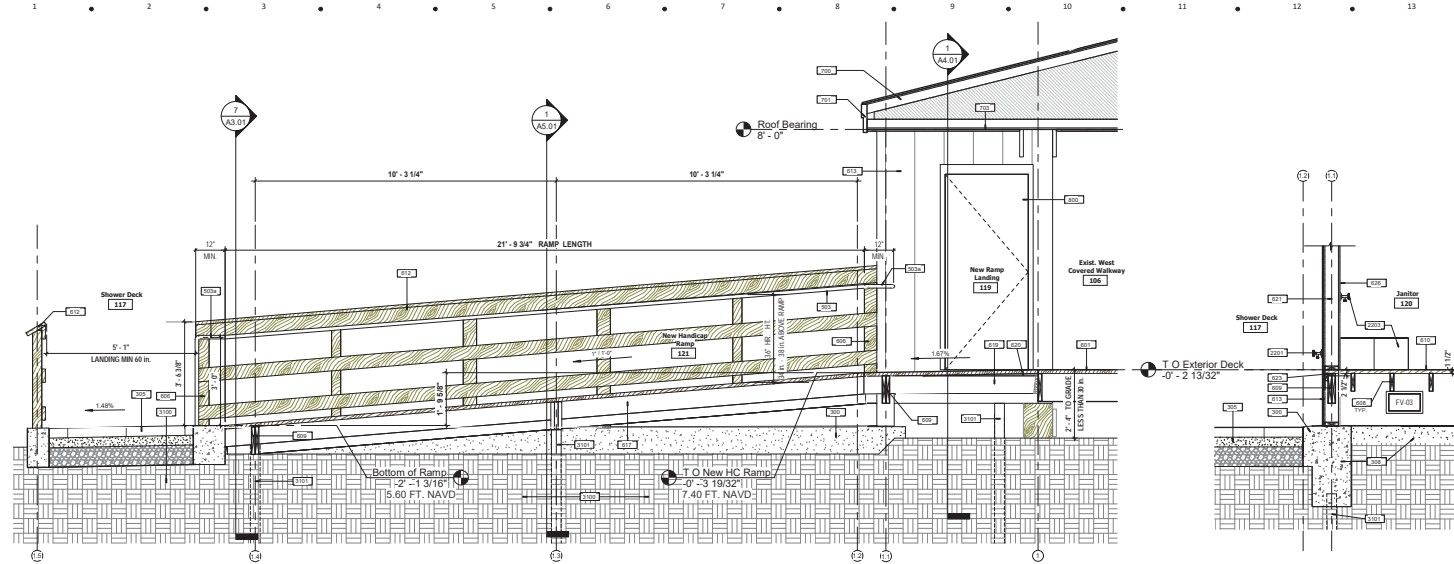
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Sheet Title:
Building Sections

Sheet No.
A3.01

EXHIBIT A - Lowdermilk Facility Improvement Drawings S & S

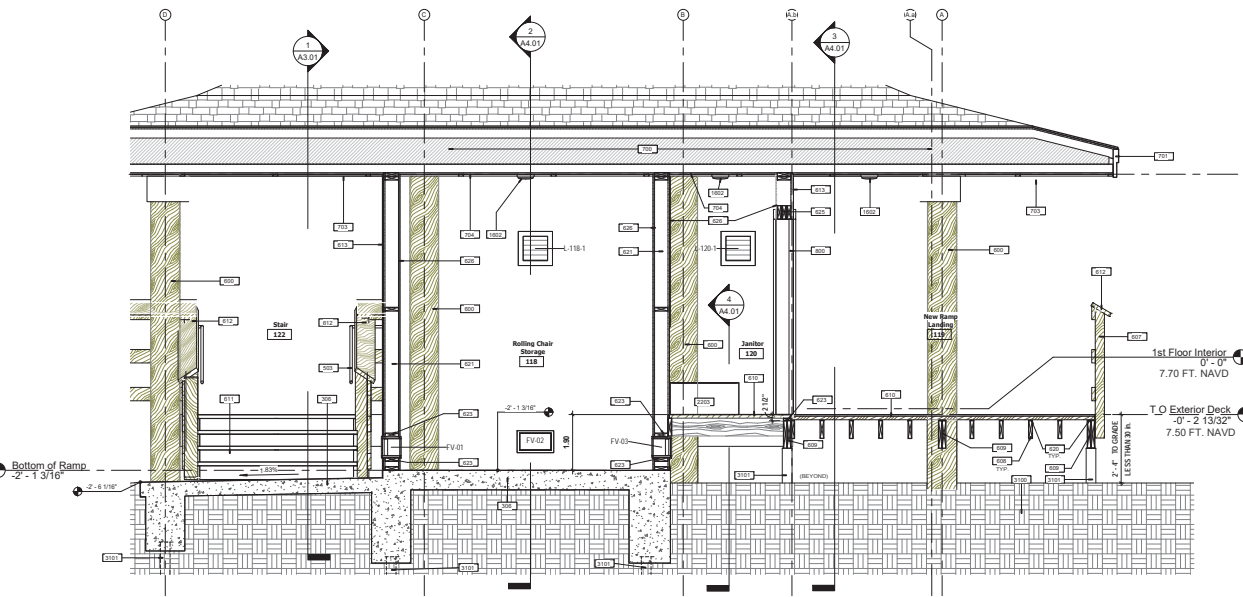
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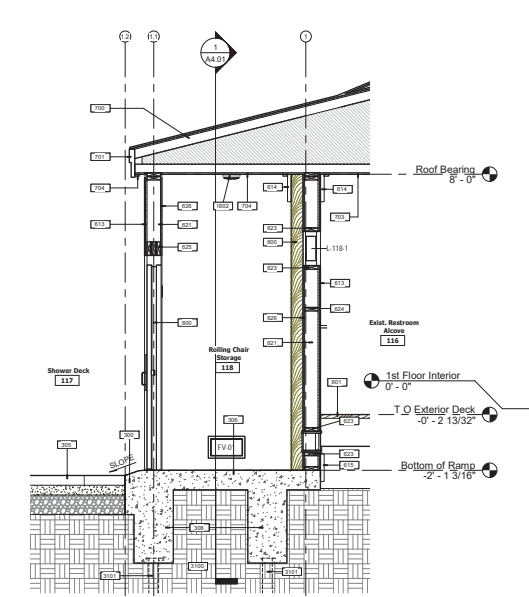
3 Ramp Section
1/2" = 1'-0"

4 Knee Wall @ Janitor
1/2" = 1'-0"

Key Note Schedule	
KEY NOTE	Description
300	POURED IN PLACE REIN. CONCRETE CURB 8" WIDE X 14" DEEP, TOP OF CURB AT FLOOR LEVEL.
305	6X6 SAND SET CONCRETE PAVERS ON LUMBEROCK BASE.
306	POURED IN PLACE CONCRETE SLAB (SEE STRUCTURE FOR REINFORCING).
308	POURED IN PLACE REIN. CONCRETE GRADE BEAM - SEE STRUCTURAL.
503	CONT. ALUM. HANDRAIL, 1 1/2" DIA.
503a	CONT. ALUM. HORIZONTAL HANDRAIL EXTENSION - MIN. 12" & 1 1/2" DIA. RETURN TO WALL OR FLOOR.
600	EXISTING ROUND WOOD COLUMN - REMAINS.
601	EXISTING EXTERIOR ELEVATED WOOD DECK.
606	NEW 6X6 PRESSURE TREATED WOOD RAILING POST.
607	NEW 4X4 PRESSURE TREATED WOOD RAILING POST.
608	NEW 2X6 PRESSURE TREATED FLOOR JOIST.
609	NEW WOOD BEAM PER STRUCTURAL SHEETS, CONNECTIONS PER STRUCTURAL SHEETS.
610	NEW 2X6 PRESSURE TREATED WOOD FLOOR DECKING.
611	NEW WOOD STAIR TREADS, RISERS & STRINGERS.
612	NEW PRESSURE TREATED WOOD GUARD RAIL, MATCH EXISTING BUILDING RAILING.
613	NEW PAINTED WOOD 5/8" P.T. SIDING ON NEW EXTERIOR WALL W/ 1/2" P.T. VERT. WOOD BATTING, MATCH EXISTING SIDING & FINISH.
614	EXISTING 2X WOOD ROOF BEAM ATTACHED TO EXISTING ROUND WOOD COLUMN & TO REMAIN.
615	EXISTING 2X WOOD FLOOR BEAM ATTACHED TO EXISTING ROUND WOOD COLUMN & TO REMAIN.
617	NEW WOOD DECK TO BE PROVIDED AT SLOPE OF NEW HANDICAP (SEE ALSO STRUCTURAL).
619	NEW WOOD DECK TO BE PROVIDED AT SLOPE OF NEW HANDICAP (SEE ALSO STRUCTURAL).
620	PROVIDE P.T. SHIM AS REQUIRED TO SLOPE 2X6 P.T. DECKING AS SHOWN.
621	2X6 P.T. FRAMING @ 16" O.C. W/ TOP & BOTTOM PLATES PER STRUCTURAL SHEETS.
623	P.T. 2X BLOCKING, P.T. PLYWOOD SHIM AS REQUIRED.
624	INTERMEDIATE P.T. BLOCKING.
625	TRIPLE 2X6 P.T. HEADER W/ PLYWOOD BETWEEN EACH 2X6.
626	5/8" P.T. PLYWOOD, PAINTED.
700	EXISTING SLOPED, SHINGLED ROOF TO REMAIN.
701	EXISTING FASCIA TO REMAIN.
703	EXISTING PAINTED WOOD CEILING TO REMAIN.
704	REMOVE AND REPLACE EXISTING PAINTED WOOD CEILING AS NEEDED TO INSTALL NEW WALLS, MATCH EXISTING MATERIAL AND FINISH.
800	NEW IMPACT RESISTANT EXTERIOR DOOR & FRAME.
1602	NEW EXTERIOR RECESSED LED LIGHT FIXTURE.
2201	NEW HOSE BIB TO BE PROVIDED.
2203	NEW MCP SINK TO BE PROVIDED.
3100	STABILIZED SUB GRADE, SEE SITE CIVIL "BY OTHERS".
3101	HELIX, PILE, SEE STRUCTURAL SHEETS.



1 East to West Section @ Enclosed Rooms
1/2" = 1'-0"



2 North to South Section @ Rolling Chair Storage
1/2" = 1'-0"



Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

City of Naples, Fla.



DANIEL A. SUMMERS
FL REG. NO. 13180
FOR THE FIRM

Issued for Permit

Project #: 2108.01
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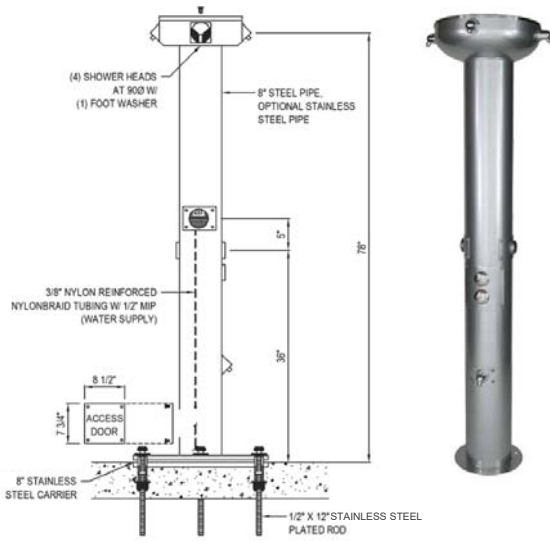
No.	Date	Revision

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Wall Sections

Sheet No. **A4.01**

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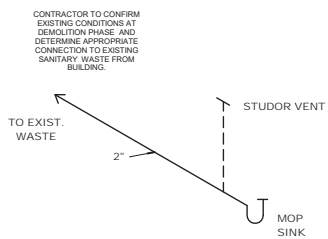


Key Note Schedule	
KEY NOTE	Description
300	POURED IN PLACE REINF. CONCRETE CURB 8" WIDE X 16" DEEP, TOP OF CURB AT FLOOR LEVEL.
301	POURED IN PLACE CONCRETE SLAB WITH 15 MIL VAPOR BARRIER
304	POURED IN PLACE 12" THICK REINF. CONCRETE SUPPORT PAD FOR NEW STAND ALONE SHOWER.
305	6X6 SAND SET CONCRETE PAVERS ON LUMBEROCK BASE.
308	POURED IN PLACE REINF. CONCRETE GRADE BEAM - SEE STRUCTURAL.
503	CONT. ALUM. HANDRAIL, 1 1/2" DIA.
503a	CONT. ALUM. HORIZONTAL HANDRAIL EXTENSION - MIN. 12" & 1 1/2" DIA. RETURN TO WALL OR FLOOR.
503b	CONT. ALUM. HORIZONTAL EXTENSION, MIN. 11" & 1 1/2" DIA. SLOPED WITH STAIR RISE & RUN. RETURN TO FLOOR.
601	EXISTING EXTERIOR ELEVATED WOOD DECK.
606	NEW 6X6 PRESSURE TREATED WOOD RAILING POST.
608	NEW 2X8 PRESSURE TREATED FLOOR JOIST.
609	NEW WOOD BEAM PER STRUCTURAL SHEETS. CONNECTIONS PER STRUCTURAL SHEETS.
610	NEW 2X8 PRESSURE TREATED WOOD FLOOR DECKING.
611a	2X12 PRESSURE TREATED WOOD STAIR STRINGER. PROVIDE (3).
611b	2X12 PRESSURE TREATED WOOD STAIR TREAD.
612	NEW PRESSURE TREATED WOOD GUARD RAIL, MATCH EXISTING BUILDING RAILING.
627	CONT. 2X12 PRESSURE TREATED BLOCKING & STAINLESS STEEL JOIST HANGER @ EACH STAIR STRINGER.
1001	1/8" DIA. STAINLESS STEEL ANCHOR BOLT, PROVIDE (2) @ EACH 6X6 AND 4X4 @ RAMP AND NEW RAMP LANDING.
1002	1/2" DIA. STAINLESS STEEL LAG SCREW.
1003	SIMPSON STRONG TIE STAINLESS STEEL POST BASE ALUMBER - OR EQUAL TO BE INSTALLED PER MANUF. INSTALLATION SPECIFICATIONS.
1005	STAINLESS STEEL FLAT HEAD WOOD SCREW, MIN. DEPTH 3".
1008	SHOWER BASE PLATE WITH ANCHOR PER SHOWER SUPPLIER INSTALLATION SPECIFICATIONS.
2202	NEW STAINLESS STEEL OUTDOOR SHOWER TO BE PROVIDED.
3100	STABILIZED SUB GRADE. SEE SITE CIVIL "BY OTHERS".
3101	MECH. RILE. SEE STRUCTURAL SHEETS.

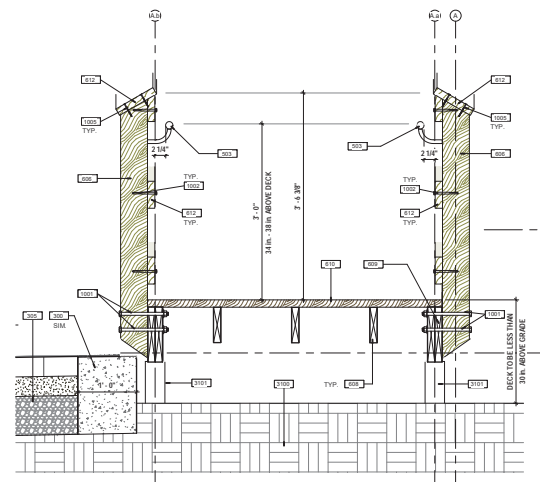
OUTDOOR SHOWER BASIS OF DESIGN:

QUAD SHOWER TOWER BY Most Dependable Fountains, MODEL # 590, SURFACE MOUNTED. <https://www.plumbingsupply.com/most-dependable-fountains.html>

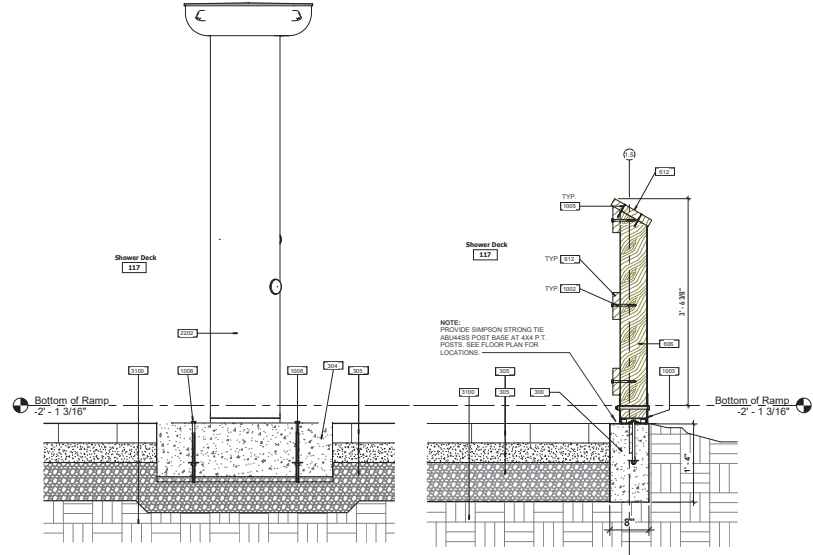
2 Freestanding Outdoor Stainless Steel Shower
N.T.S.



6 PLUMBING WASTE ISOMETRIC
N.T.S.

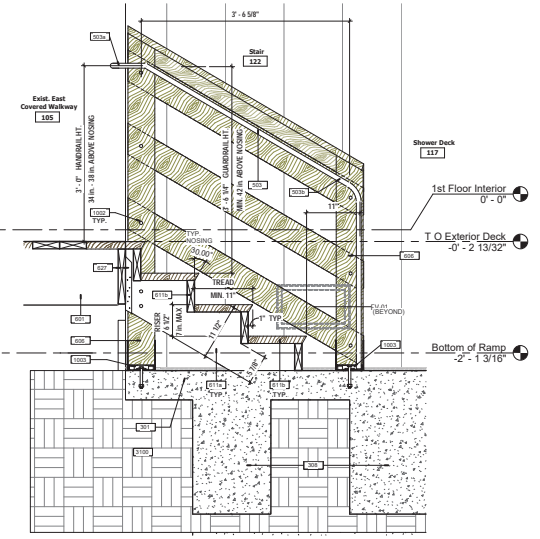


1 Ramp Section East to West
1" = 1'-0"



4 New Shower Pad Footing
1" = 1'-0"

5 New Shower Deck Floor & Perimeter Curb
1" = 1'-0"



3 New Wood Stair
1" = 1'-0"



Project:
Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

Client:
City of Naples, Fla.

Consultant:



Project Phase:
Issued for Permit

Project #: 2108.01
Project Issued: 12-09-2022
Sheet Issued: 12-09-2022

No. Date Revision

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Sheet Title:
Ramp & Shower Deck Sections & Details.

Sheet No.
A5.01

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Model Number
1540-570

Flood Coverage
200 sq.ft.

Air Ventilation
N/A

Vent Size
14.5" w x 0.5" h x 3' d

Rough Opening
14.5" w x 0.75" h

Available Colors
Stainless Steel, White, Black, Gray, White

Insulated Flood Vent - Wood Wall

Application
This series is used for a garage or conditioned space where flood protection is required but air ventilation is not desired. This model is designed to fit between 18" an center stud wall construction. For situations where a sealed crawlspace is being utilized in a floodplain, flood protection is still required and the Insulated FLOOD VENT series is the perfect fit for those applications.

Flood Protection
The vent door is latched closed until it comes in contact with flood water. Entering flood water lifts the patented internal floats which unlatch and allow the door to rotate open. This allows the flood water to automatically enter and exit through the frame opening, relieving the pressure from the foundation walls. Certified flood debris clearance is demonstrated with a 3" diameter opening when the flood door is activated.

Insulation
The flood door contains a 2" insulated core that has an R-value of 0.34. There is also a fall weather stripping that lines the entire vent frame helping to keep the enclosure as insulated as possible.

- 316L MARINE GRADE STAINLESS STEEL
- ICC-ES CERTIFIED | ESR-1074
- FLORIDA BUILDING PRODUCT APPROVED
- FEMA ACCEPTED
- 15 YEAR EXTENDED WARRANTY
- MADE IN THE U.S.A.





Finish Flange - Wood Wall 4"-6.5" Wall

The Trim Flange unit fits into the rough opening to provide a clean finished look on the interior wall.

This model of Trim flange is designed for use in Wood Wall applications (4" depth 1540-573 and 9" depth 1540-573-B) which come standard in white. Our other model, 1540-533 available for use with standard masonry flood vents and comes in stainless steel.

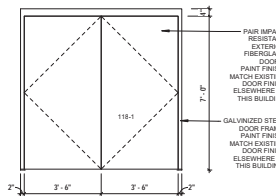
SHOWER DECK DOOR SCHEDULE									
Door Number	Door Type	Height	Width	Fire Rating	Thickness	Description	Finish	Phase Provided	Comments
118-1	Door-Exterior-Double: 84" x 84"	7'-0"	7'-0"	N/A	0'-1.34"	IMPACT RESISTANT FIBERGLASS EXTERIOR FLUSH DOOR.	PAINTED	New Construction	CONTRACTOR TO PROVIDE NOA
120-1	Door-Single-Panel: 34" x 80"	6'-8"	2'-10"	N/A	0'-1.34"	IMPACT RESISTANT FIBERGLASS EXTERIOR FLUSH DOOR.	PAINTED	New Construction	CONTRACTOR TO PROVIDE NOA

VENT SCHEDULE					
Mark	Description	Height	Width	Comments	
FV-01	SMART VENT FLOOD VENT	0'-8 1/2"	1'-2 1/2"	CONTRACTOR TO PROVIDE NOA	
FV-02	SMART VENT FLOOD VENT	0'-8 1/2"	1'-2 1/2"	CONTRACTOR TO PROVIDE NOA	
FV-03	SMART VENT FLOOD VENT	0'-8 1/2"	1'-2 1/2"	CONTRACTOR TO PROVIDE NOA	
L-118-1	EXTERIOR WALL LOUVERED VENT W/ SCREEN	1'-2"	1'-2"	CONTRACTOR TO PROVIDE NOA	
L-120-1	EXTERIOR WALL LOUVERED VENT W/ SCREEN	1'-2"	1'-2"	CONTRACTOR TO PROVIDE NOA	

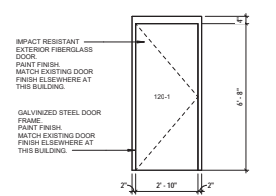
ALLOWABLE COMPONENT & CLADDING WIND PRESSURES (PSF)				
ZONE		TRIBUTARY AREA		
		10 SF	50 SF	100 SF
INTERIOR	1	40 / -59	31 / -54	27 / -50
	EDGE	2e	40 / -75	31 / -63
	2r	40 / -94	31 / -76	27 / -67
ROOF	RIDGE	3	40 / -75	31 / -63
	CORNER	4	50 / -53	46 / -49
WALL	INTERIOR	5	50 / -62	46 / -55
	CORNER	5	50 / -62	46 / -55

3

SEE ALSO STRUCTURAL SHEETS FOR DESIGN LOADS, WIND SPEED AND COMPONENT AND CLADDING DIAGRAM.



- DOOR 118-1 HARDWARE TO BE PROVIDED:
- BRUSHED STAINLESS STEEL EXTERIOR GRADE HINGES, (4) PER DOOR.
 - CONTINUOUS EXTERIOR GRADE SEAL.
 - (1) CRASH CHAIN EX. DOOR, EXTERIOR GRADE.
 - BRUSH STAINLESS STEEL EXTERIOR GRADE DEAD BOLT.
 - BRUSHED STAINLESS STEEL EXTERIOR GRADE JAMB BOLT.
 - BRUSHED STAINLESS STEEL EXTERIOR GRADE LEVER HANDLES.



- DOOR 120-1 HARDWARE TO BE PROVIDED:
- BRUSHED STAINLESS STEEL EXTERIOR GRADE HINGES, (3) PER DOOR.
 - CONTINUOUS EXTERIOR GRADE SEAL.
 - (1) CRASH CHAIN, EXTERIOR GRADE.
 - BRUSHED STAINLESS STEEL EXTERIOR GRADE DEAD BOLT.
 - BRUSHED STAINLESS STEEL EXTERIOR GRADE LEVER HANDLE.

1 Flood Vent Specification
N.T.S.

A Door Elevation - Pair Doors
3/8" = 1'-0"

B Door Elevation - Single Door
3/8" = 1'-0"



1300 Jackson Street, Suite 202
Fort Myers, Florida 33901
Phone: 239-279-3838 Fax: 239-275-5356

948 Central Ave.
Naples, Florida 34102
Phone: 239-648-3103 Fax: 239-275-5356

Project:
Lowdermilk Park Facilities Improvements
1301 Gulf Shore Blvd. North
Naples, Fla. 34102

Owner:
City of Naples, Fla.

Consultant:



DANIEL A. SUMMERS
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Sheet Title:
Door Elevations & Schedules, Vent Schedule and Specification.

Sheet No.
A6.01