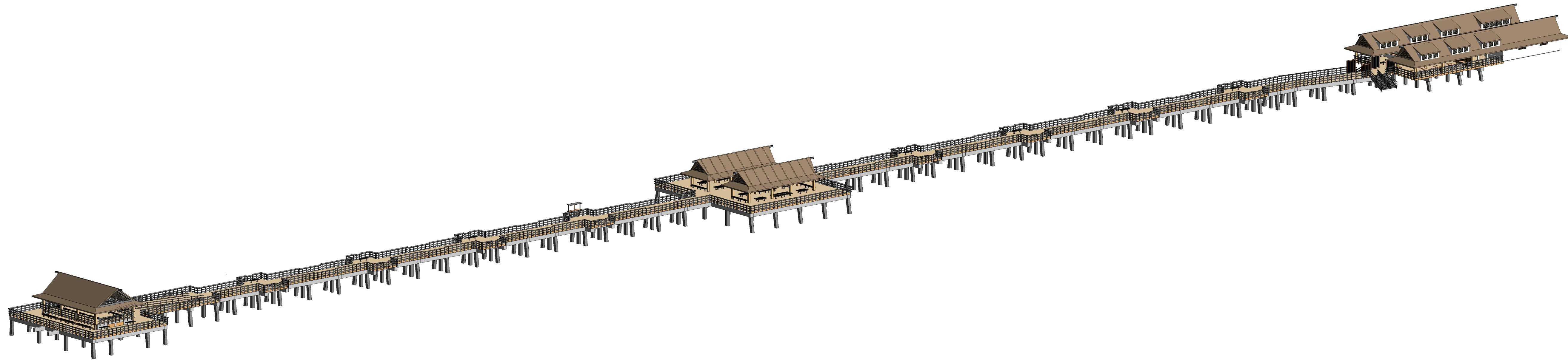


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NAPLES PIER RECONSTRUCTION
25 12th Ave S., Naples FL 34102

FLORIDA SEAL
REG# AR 16771
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SHEET ISSUE DATE
08/07/23
FEMA Redesign.

NAPLES PIER RECONSTRUCTION

25 12th Ave S., Naples FL 34102

COVER SHEET

PHASE CD
PR NO 23118

G.000

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EXHIBIT A - 12A.2 Naples 30% Design Plan

ABBREVIATIONS:

ABV ABOVE FLOOR	EA EACH FACE	KIT KITCHEN	RAD RADIUS
ASC ABOVE SUSPENDED CEILING	E EAST	KO KNOCKOUT	RDW REDWOOD
ACC ACCESS	EAC ELECTRICAL (AL)	LAB LABORATORY	REF REFRIGERATOR
AP ACCESS PANEL	EP ELECTRIC PANELBOARD	LAG LAG BOLT	REG REGISTER
AC ACUSTICAL	EWG ELECTRIC WATER COOLER	LAM LAMINATE (ED)	REINF REINFORCE (D), (ING)
PANEL	ELEV ELEVATION	LAV LAVATORY	RCP REINFORCED CONCRETE PIPE
ADH ADHESIVE	ELV ELEVATOR	LW LEFT HAND	RESH RESILIENT
ADJ ADJACENT	EMER EMERGENCY	L LENGTH	RET RETURN
ADJT ADJUSTABLE	EQ EQUAL	LWT LIGHTWEIGHT	RA RETURN AIR
AGG AGGREGATE	EST ESTIMATE	LWC LIGHTWEIGHT CONCRETE	REV REVISION (S), REVISED
A/C AIR	EXCA EXCAVATE	LMS LIMESTONE	RH RIGHT HAND
CONDITIONING	EXH EXHAUST	LTL LITEL	RW RIGHT OF WAY
ALT ALTERNATE	EXTG EXISTING	LL LIVE LOAD	R RISER
ALUM ALUMINUM	EB EXPANSION BOLT	LVR LOUVER	RD ROOF DRAIN
AB ANCHOR BOLT	EXP EXPOSED	EXP EXPOSED	RFG ROOFING
ANOD ANODIZED	EXT EXTERIOR	MH MANHOLE	RM ROOM
APX APPROXIMATE	EXS EXTRA STRONG	MFR MANUFACTURE (ER)	RSC ROUGH SAWN
AD AREA DRAIN	FB FACE BRICK	MO MASONRY	RLK ROWLOCK
ASPH ASPHALT	FOC FACE OF CONCRETE	MSC MASONRY OPENING	SFGL SAFETY GLASS
AT ASPHALT TILE	FOF FACE OF FINISH	MTL MATERIAL (S)	SCH SCHEDULE
AUTO AUTOMATIC	FOM FACE OF MASONRY	MAX MAXIMUM	SCN SCREEN
BSMT BASEMENT	FOS FACE OF STUDS	MECH MECHANIC (AL)	STG SEATING
BRG BEARING	FFS FASTEN FASTENER	MC MEDICINE CABINET	SECT SECTION
BPL BEARING PLATE	FBG FIBERBOARD	SEC SEE STRUCTURAL DRAWINGS	SHG SHEATHING
BWL BENCH MARK	FGL FIBERGLASS	SHS SHEATHING SHEET	SH SHEET
BVL BEVELED	FIN FINISH (ED)	SG SHEET GLASS	SH SHELF, SHELVING
BIT BITUMINOUS	FFE FINISHED FLOOR	SH SIMILAR	SIM SIMILAR
BLK BLOCK	ELEVATION	SIA SOLID/IR CORSE	SJC SOLID CORE
BKD BLOCKING	FR FINISHED FLOOR LINE	SP SOUNDPROOF	S SOUTH
BO BOARD	FA FIRE ALARM	SPK SPEAKER	S SPECIAL
BS BOTH SIDES	FBK FIRE BRICK	SPR SPECIAL SPECIFICATION (S)	SQ SQUARE
BW BOTH WAYS	FE FIRE EXTINGUISHER	SS STAINLESS STEEL	STD STANDARD
BT BOTTOM	FEC FIRE EXTINGUISHER CABINET	STL STANDARD STATION	STL STATION
BRK BRICK	FH FIRE HOSE STATION	STR STORAGE	STOR STORAGE
BRZ BRONZE	FPL FIREPLATE	STORM DRAIN	STORM DRAIN
BLDG BUILDING	FP FIREPROOF	STRUCT STRUCTURAL	STRUCT STRUCTURAL
BUR BURNT UP ROOFING	FRT FIRE-RETARDANT	STCT STRUCTURAL CLAY	TILE
CAB CABINET	FLG FLASHING	THR THRESHOLD	TYP TYPICAL
CPT CARPET (ED)	FLX FLEXIBLE	TPN TOILET PARTITION	UNFN UNFINISHED
CSMT CASEMENT	FR FLOOR (ING)	TPD TOILET PAPER DISPENSER	UR URINAL
CI CAST IRON	FLCO FLOOR CLEANOUT	TRG TONGUE & GROOVE	WAINSCOT
CIRC CAST-IN-PLACE CONCRETE	FD FLOOR DRAIN	TC TOP OF CURB	WTW WALL TO WALL
CSST CAST STONE	FLR FLOURESCENT	TG TOP OF GRADE	WH WALL HUNG
CB CATCH BASIN	FTG FOOTING	TP TOP OF PAVEMENT	WH WATER HEATER
CLG CEILING	FND FOUNDATION	TSL TOP OF SLAB	WC WATER CLOSET
CEM CEILING HEIGHT	FR FRAME (D), (ING)	TS TOP OF STEEL	WP WATERPROOFING
CHT CEMENT	FRA FRESH AIR	TW TOP OF WALL	WR WATER REPELLENT
CM CENTIMETER (S)	FS FULL SIZE	TB TOWEL BAR	WS WATERSTOP
CR CERAMIC	FBO FURNISHED BY OTHERS	TD TO BE DETERMINED	WVF WELDED WIRE FABRIC
CT CERAMIC TILE	FUR FURRED (ING)	T READ	WEST
CMT CERAMIC MOSAIC (TILE)	FUT FUTURE	TYP TYPICAL	WIDTH, WIDE
CHAM CHAMFER	GA GAGE, GAUGE	UNFN UNFINISHED	WDW WINDOW
CIR CIRCLIT	GALV GALVANIZED	UR URINAL	WG WIRE GLASS
CLR CLEAR (ANCE)	GI GALVANIZED IRON	VAP VAPOR BARRIER	WM WIRE MESH
COL COLUMN	GP GALVANIZED PIPE	VAR VARNISH	WO WITHOUT
COMB COMBINATION CONC CONCRETE	GSS GALVANIZED STEEL SHEET	VNR VENEER	WB WOOD BASE
CMU CONCRETE MASONRY UNIT	GC GENERAL CONTRACTOR	VERT VERTICAL	WPT WORKING POINT
CONST CONSTRUCTION CONT CONTINUOUS OR CONTINUE	GL GLASS, GLAZING	VER VERTICAL GRAIN	WROUGHT IRON
CONTR CONTRACT (OR) CJL CONTRACT LIMIT	GLB GLASS BLOCK	VIF VERIFY IN FIELD	
LINE	GLF GLASS FIBER	VIN VINYL	
CG CONTROL JOINT	GR GRAB BAR	VPOINT VINYLBASE	
CG CORNER GUARD	GD GRADE, GRADING	VTL VINYLTILE	
CORR CORRUGATED	GVL GRAVEL	WC WAINSCOT	
CF COUNTER FLASHING	GT GROUT	WALL TO WALL	
CRS COURSE (S)	GYP GYPSUM DRY WALL	WATER HEATER	
CF CUBIC FOOT	HBD HARDBOARD	WC WATER CLOSET	
CY CUBIC YARD	HDW HARDWARE	WP WATERPROOFING	
DP DAMPROOFING	HWD HARDWOOD	WR WATER REPELLENT	
DL DEAD LOAD	HDR HEADER	WS WATERSTOP	
DEMO DEMOLISH, DEMOLITION	HTG HEATING	WVF WELDED WIRE FABRIC	
DFE DESIGN FLOOD ELEVATION	HVAC HEATING/VENTILATING/AIR CONDITIONING	WEST	
DIAG DIAGONAL	HT HEIGHT	WIDTH, WIDE	
DIAM DIAMETER	HC HOLLOW CORE	WDW WINDOW	
DIM DIMENSION	HM HOLLOW METAL	WG WIRE GLASS	
DIV DIVISION	HOR HORIZONTAL	WM WIRE MESH	
DR DOOR	HB HOSE BIBB	WO WITHOUT	
DA DOUBLEACTING	INCL INCINERATOR	WB WOOD BASE	
DH DOUBLE HUNG	INCL INCLUDE (D), (ING)	WPT WORKING POINT	
DS DOWNSPOUT	ID INSIDE DIAMETER	WROUGHT IRON	
D DRAIN	INSUL INSULATE (D), (ING)		
DWR DRAWER	INT INTERIOR		
DF DRINKING FOUNTAIN	INTM INTERMEDIATE		
DW DUMBWATER	INV INVERT		
	IP IRON PIPE		
	IPS IRON PIPE SIZE		
	JC JANITOR'S CLOSET		
	JT JOINT		
	JF JOINT FILLER		
	JST JOIST		

GENERAL NOTES:

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
 - WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
 - ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
 - CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
 - CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.
 - ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.
 - DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.
 - DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.
 - NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT.
 - WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING.
 - UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
 - PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
 - WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 - PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
 - CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE OWNER.
- SITE CONDITIONS**
- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
 - ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.
 - PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
 - PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
 - PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.
- FINAL COMPLETION**
- DO NOT BURY WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
 - COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION.
 - REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
 - REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS, FINISHES, EQUIPMENT, AND SURFACES.
- ARCHITECTS DISCLAIMER**
- THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
 - THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS TO THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
 - THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS TO THE INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC INTENT.

PROJECT SUMMARY:

THIS IS A PERMIT APPLICATION FOR THE RECONSTRUCTION OF THE NAPLES PIER, LOCATED AT 25 12TH AVENUE SOUTH, NAPLES FL 34102. THE PROJECT WILL BE AN INTERIOR AND EXTERIOR RENOVATION OF THE EXISTING MENS AND WOMENS RESTROOMS, DECK EXTENSIONS AT THESE RESTROOMS, A COVERED OPEN-AIR ADDITION TO THE MENS RESTROOM, ADA ACCESSIBLE PIER DECKING TO A MID-PAVILION CONCESSIONS STRUCTURE & MID-PAVILION STORAGE STRUCTURE AND ADDITIONAL ADA ACCESSIBLE PIER DECKING TO A NEW ELEVATED SUNSET PAVILION AND FISHING PLATFORM

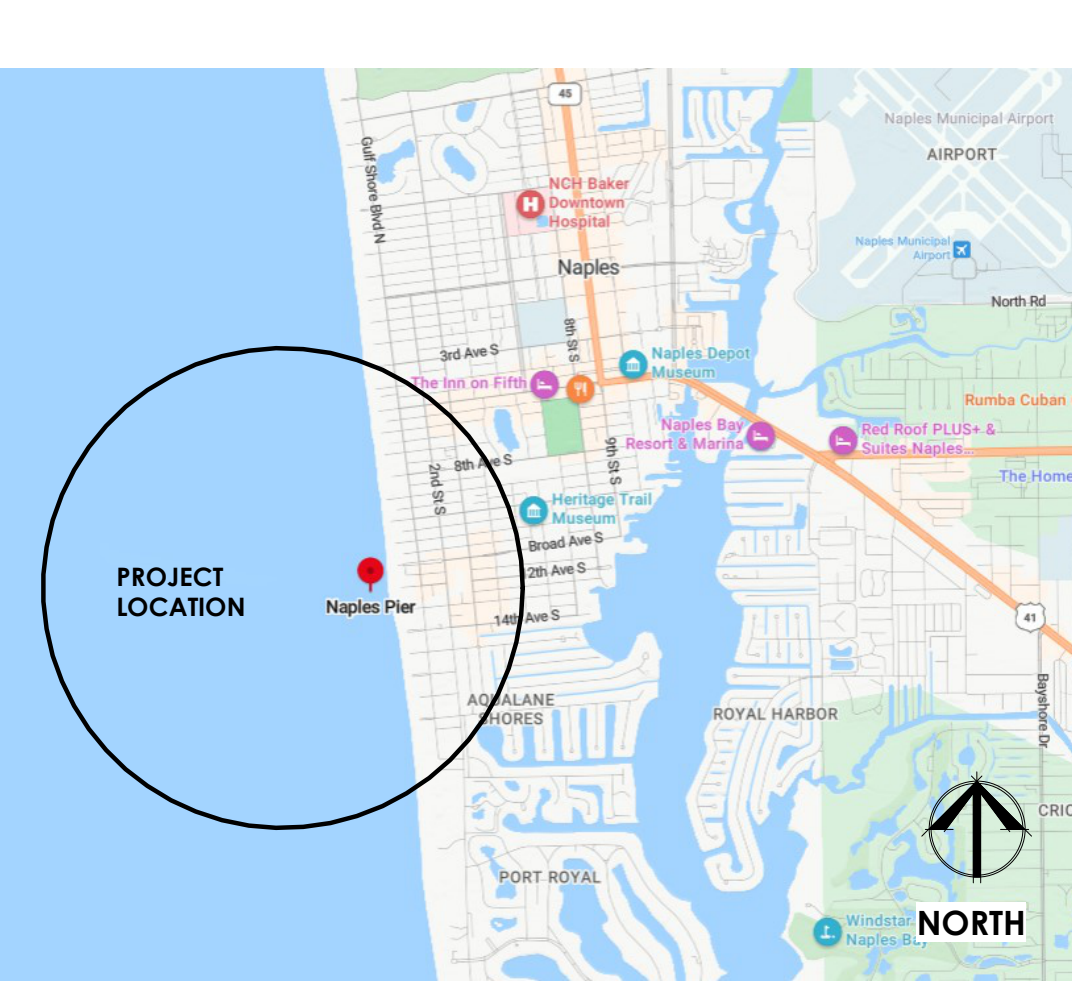
TERMITE PROTECTION:

- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED TERMITICIDES, BATHING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." A COPY SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.
- CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS.
- IRRIGATION & SPRINKLER SYSTEMS, INCLUDING ALL RISERS AND SPRAY HEADS, SHALL NOT BE INSTALLED WITHIN 1'-0" OF THE BUILDING SIDE WALLS.
- TO PROVIDE FOR INSPECTION FOR TERMITE INFESTATION, CLEARANCE BETWEEN WALL COVERING AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 6 INCHES. EXCEPTIONS:
 - PAINT OR DECORATIVE CEMENTIOUS FINISH LESS THAN 5/8" THICK ADHERED DIRECTLY TO THE FOUNDATION WALL.
 - ACCESS OR VEHICLE RAMPS WHICH RISE TO THE INTERIOR FINISH FLOOR ELEVATION FOR THE WIDTH OF SUCH RAMPS ONLY.
 - A 4-INCH INSPECTION SPACE ABOVE PATIO AND GARAGE SLABS AND ENTRY.
- INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACK FILL IS COMPLETE. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BOXED OR FORMED.
- BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC., SHALL BE MADE WITH A PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL ELIMINATE THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT.
- MINIMUM 6 MIL VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST RAINFALL DILUTION. IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT, RETREATMENT IS REQUIRED.
- CONCRETE OVER POUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT.
- SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDE WALLS.
- AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED.
- ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT.
- AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TUB TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL.
- NO WOOD, VEGETATION, STUMPS, CARDBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING.

MATERIAL LEGEND:

	BRICK		STRUCTURAL CONCRETE		GYP. BD.
	STEEL		CERAMIC TILE		LUMBER
	RIGID INSULATION		ALUMINUM		BLOCKING
	EARTH		PLYWOOD		FINISH WOOD
	UNDISTURBED EARTH		SHINGLES		GLASS
	GRAVEL		SIDING		CMU

PROJECT LOCATION MAP:



CODE ANALYSIS: FBC 7TH ED 2020:

- APPLICABLE CODES:**
- CITY OF NAPLES MUNICIPAL CODE
 - FLORIDA BUILDING CODE 7TH EDITION (2020)
 - FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
 - FLORIDA BUILDING CODE / ACCESSIBILITY 7TH EDITION (2020)
 - FLORIDA MECHANICAL CODE 7TH EDITION (2020)
 - FLORIDA PLUMBING CODE 7TH EDITION (2020)
 - FLORIDA ENERGY CONSERVATION CODE 7TH EDITION (2020)
 - NATIONAL ELECTRIC CODE (2017)

SITE ADDRESS: 25 12TH AVENUE SOUTH, NAPLES FL 34102

ZONING: EXISTING R1-15 / NO CHANGES

FEMA FLOOD ZONE: VE 13 (2012) VE 11 (2019)

OCCUPANCY: ASSEMBLY A5

BUILDING TYPE: TYPE IV (HEAVY TIMBER)

SPRINKLER: NON-SPRINKLED

TOTAL OCCUPANT LOAD CALCULATION

(PER FBC 2020 TABLE 1004.5, NFPA 7.3.1.2)

KITCHEN TAKEOUT BAR/PRIVATE SERV.	XXXX SF	XX PERSONS
CHEF OFFICE	XX SF	XX PERSONS
INDOOR DINING	XX SF	XX PERSONS
BAR SEATING	XX SF	XX PERSONS
OUTDOOR SEATING	XX SF	XX PERSONS
CHECK-IN/WAITING OUTDOOR ENTRY RESTROOMS		NOT APPLICABLE NOT APPLICABLE
TOTAL OCCUPANTS ALLOWED		XX PERSONS (XX PATRONS, XX EMPLOYEES)
TOTAL OCCUPANTS PROPOSED		XX PERSONS (XX PATRONS, XX EMPLOYEES)

ALLOWABLE AREA
(PER FBC 2020 TABLE 506.2)

ALLOWED	XXXX SF
EXISTING	XXXX SF

ALLOWABLE HEIGHT
(PER FBC 2020 TABLE 504.3A)

ALLOWED	XXXX SF
EXISTING	XXXX SF

ALLOWABLE STORIES
(PER FBC 2020 TABLE 504.4)

ALLOWED	XXXX
EXISTING	XXXX

ALLOWABLE TRAVEL DISTANCE
(PER FBC 2020 TABLE 1017.2)

ALLOWED	XXXX
PROPOSED	XXXX

CORRIDOR WIDTH
(PER FBC 2020 TABLE 1020.2)

MINIMUM ALLOWED	XXXX
PROPOSED MINIMUM CORRIDOR/AISLE XX	XX AT KITCHEN - LESS THAN 50 PEOPLE

DEAD ENDS
(PER FBC 2020 TABLE 1020.4)

ALLOWED	XXXX
PROPOSED	XXXX

NUMBER OF EXITS
(PER FBC 2020 TABLE 1006.3.2)

REQUIRED	XXXX
PROPOSED	XXXX

PLUMBING FIXTURE REQUIREMENTS: EXISTING TO BE REPLACED WITH NEW

ZONING INFORMATION

LOT AREA: .34 ACRES, 15,000 SF (CODE)

SETBACKS

FRONT: 40 FEET
SIDE: 10 FEET
SIDE: 10 FEET
REAR: 30 FEET

MAXIMUM HEIGHT: 30' ABOVE 12' NAVD - 42' NAVD

MINIMUM PARKING: NO CHANGE

LOT COVERAGE: N/A

FEMA INFORMATION

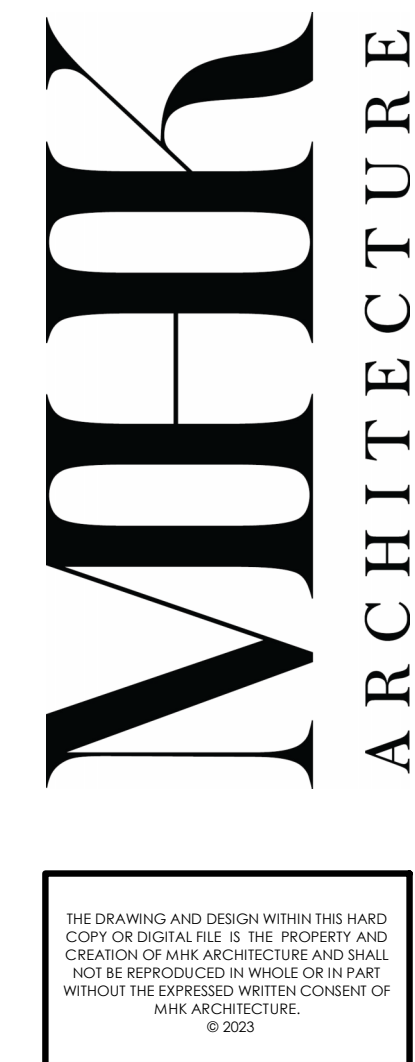
FIRM #: 12021CO393H DATED 2012
12021C DATED 2019

BASE FLOOD ELEVATION: 13' NAVD (2012)
11' NAVD (2019)

DESIGN FLOOD ELEVATION: 14' NAVD (2012)
12' NAVD (2019)

DRAWING INDEX:

DRAWING LIST	
SHEET NUMBER	SHEET NAME
GENERAL	
G.000	COVER SHEET
G.100	PROJECT INFORMATION
G.200	BUILDING SYSTEMS & PARTITION TYPES
LIFE SAFETY	
LS.100	ADA COMPLIANCE
LS.101	ADA COMPLIANCE
LS.102	LIFE SAFETY PLAN
LS.103	LIFE SAFETY PLAN
LS.104	ADA RAILING OPTION 1
LS.105	ADA RAILING OPTION 2
ARCHITECTURE	
A.001	OVERALL VIEWS
A.002	END-PAVILION FLOOR PLAN
A.003	MID-PAVILION FLOOR PLAN
A.004	PIER ACCESS DEMO PLAN
A.005	PIER ACCESS FLOOR PLAN
A.006	REFLECTED CEILING PLAN MID-PAVILION
A.007	REFLECTED CEILING PLAN END-PAVILION
A.008	MID-PAVILION ELEVATIONS
A.009	PIER ACCESS DEMO - ELEVATIONS
A.010	PIER ACCESS DEMO - ELEVATIONS
A.011	PIER ACCESS DEMO - ELEVATIONS
A.011A	PIER ACCESS ELEVATIONS
A.012	END PAVILION SECTIONS
A.013	END PAVILION SECTIONS
A.014	MID PAVILION SECTIONS
A.015	PIER ACCESS SECTIONS
A.016	SEATING AREA SECTION
A.017	OVERALL FRAMING
A.018	FRAMING PLAN & DETAILS
A.019	3D VIEW - OVERALL PIER FRAMING
A.020	STAIRS DETAILS
A.021	3D VIEWS - PIER DECK ACCESS



NAPLES PIER RECONSTRUCTION
 25 12th Ave S., Naples FL 34102

FLORIDA SEAL
 REG# RA 16971
NOT FOR CONSTRUCTION

SHEET ISSUE DATE: 08/07/23
 FEMA Redesign

PROJECT INFORMATION

PHASE CD
 PR NO 23118

G.100

STANDARD SYMBOLS:

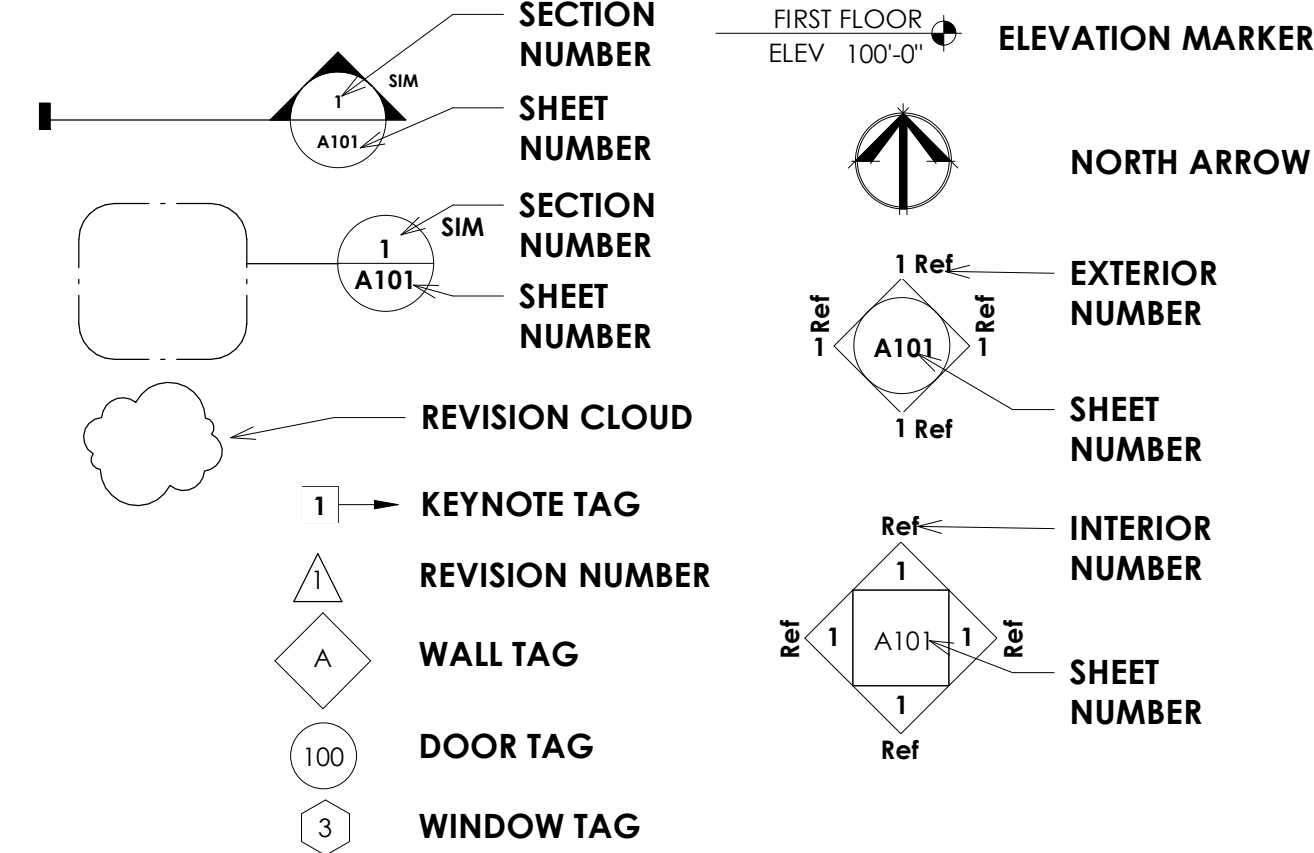
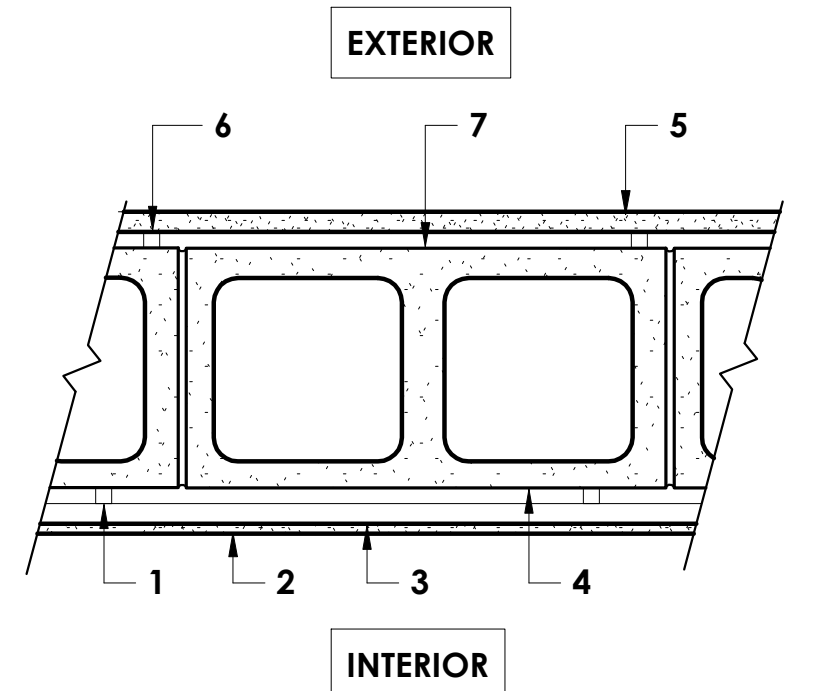
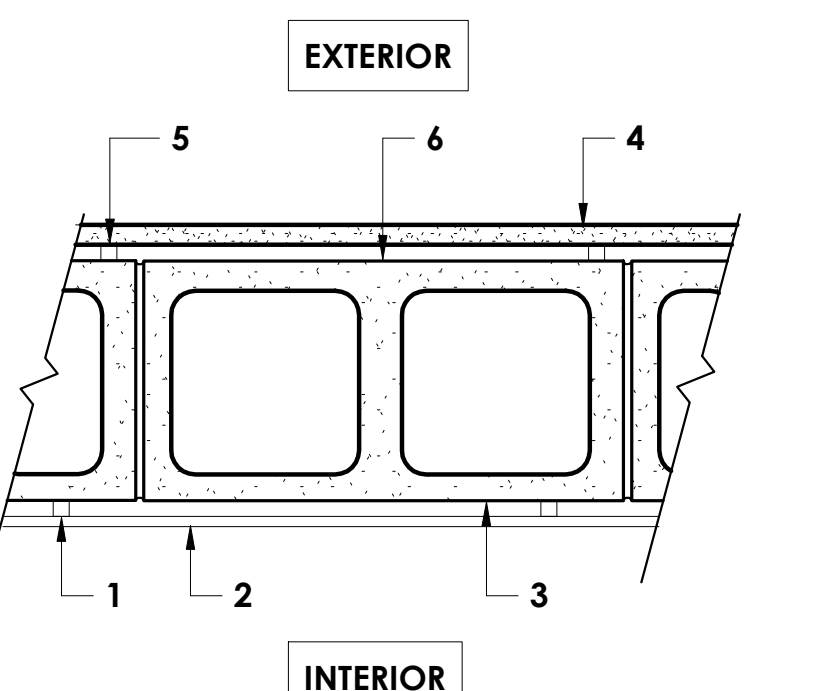
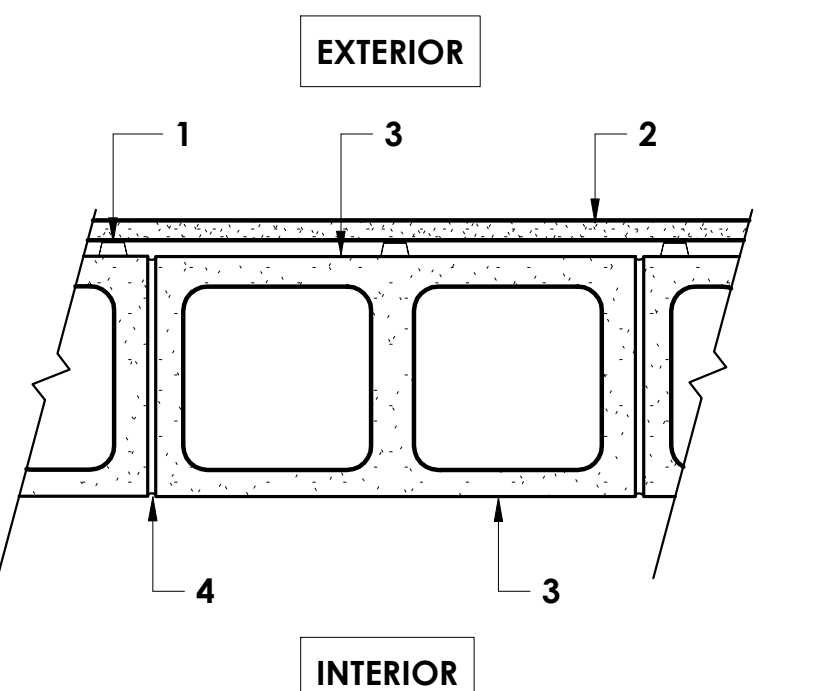
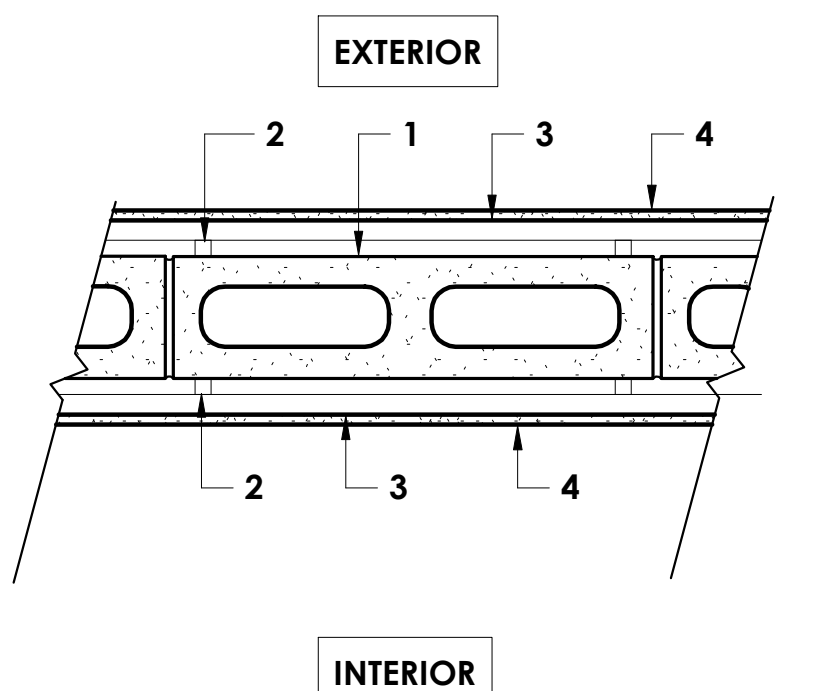
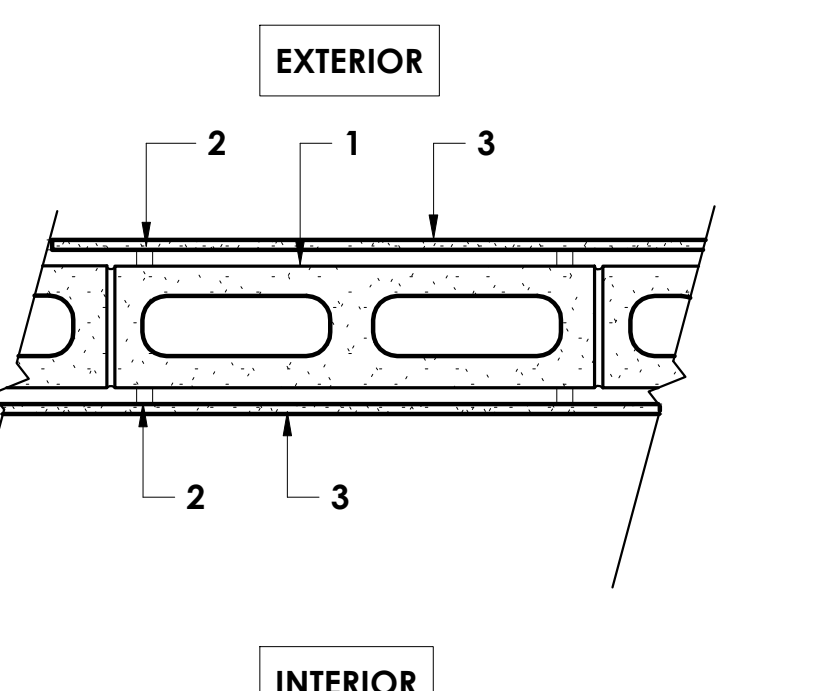
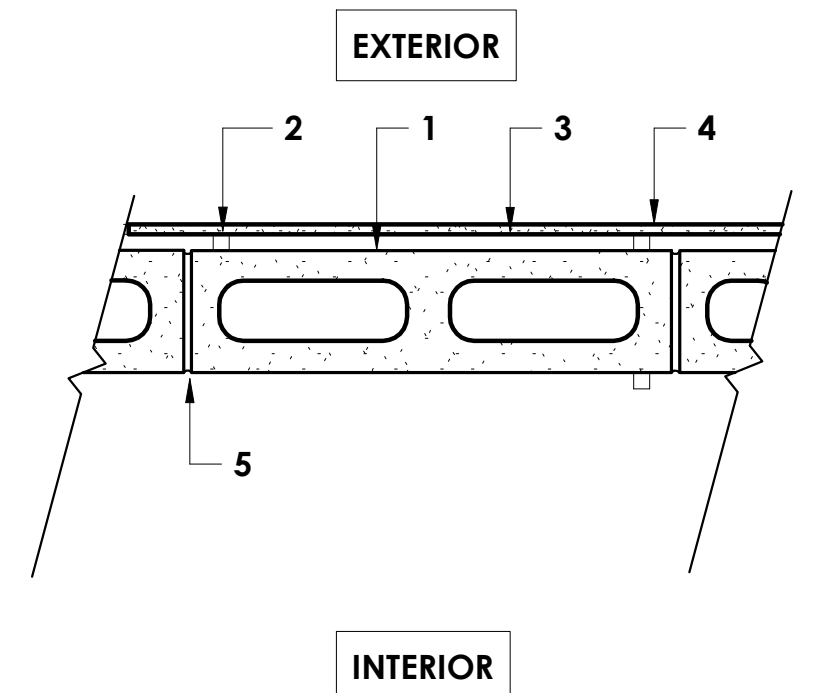
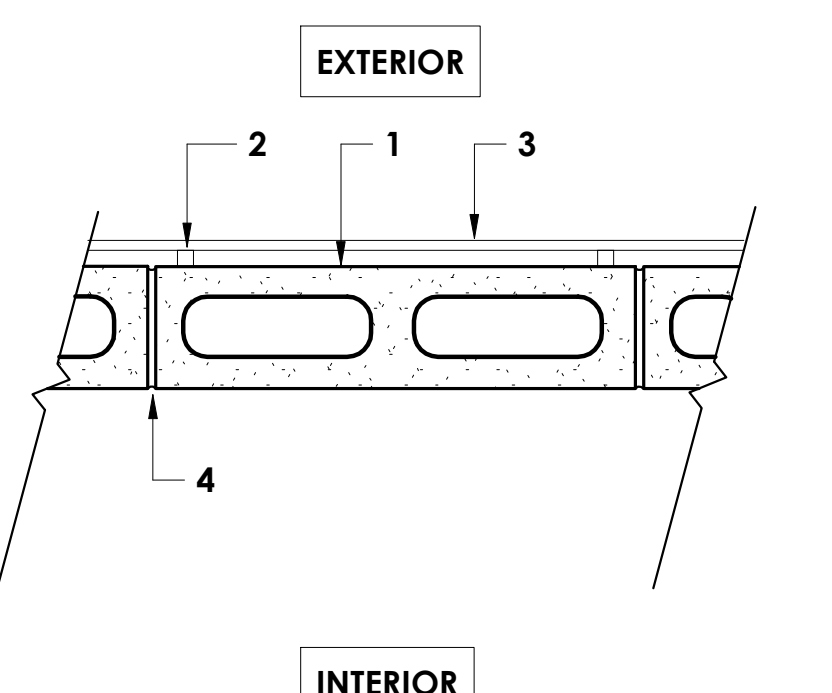
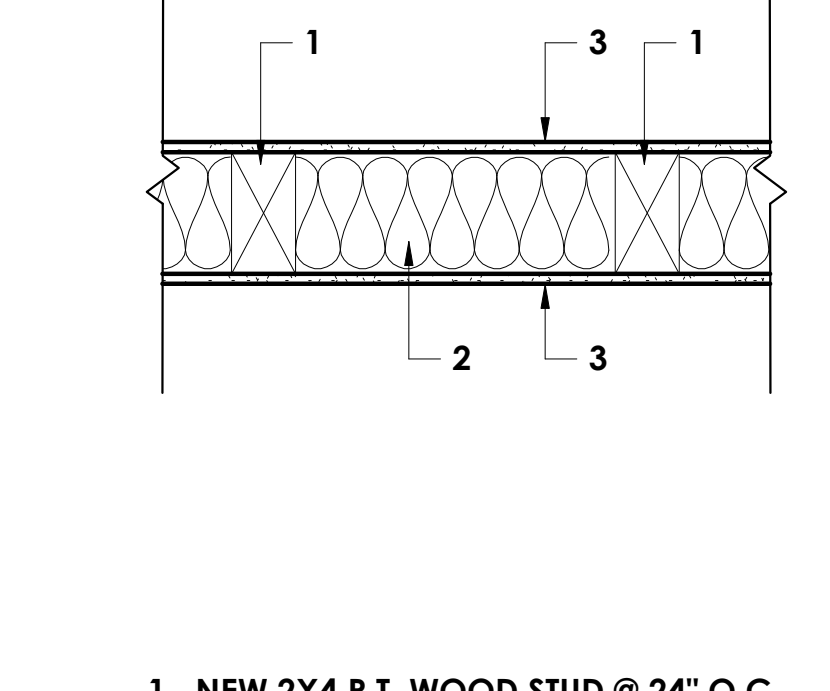
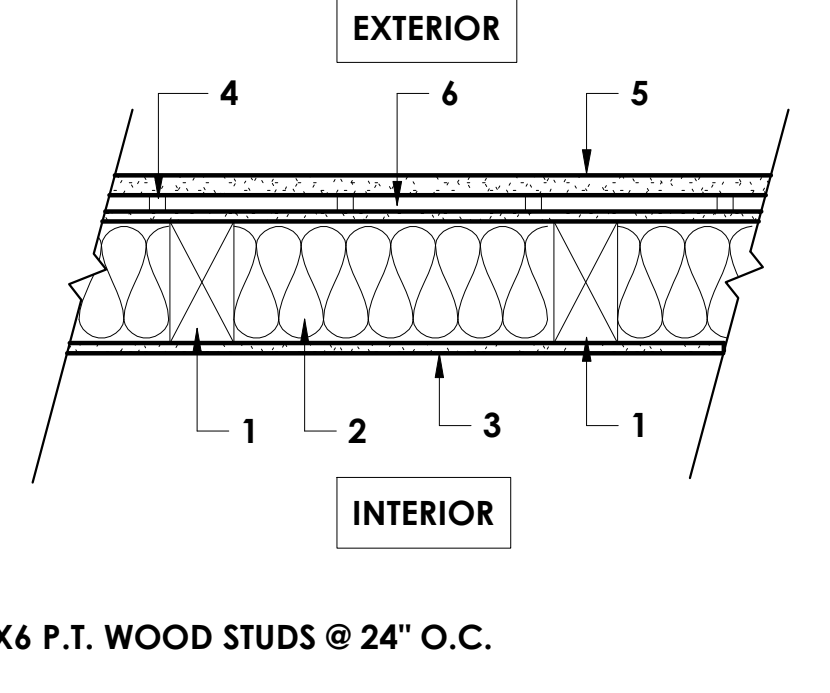


EXHIBIT A - 12A.2 Naples 30% Design Plan

<p>A HARDIE ARTISAN LAP SIDING/ DOUBLE EPOXY</p>  <ol style="list-style-type: none"> NEW 1"x1" PRESSURE TREATED FURRING STRIPS AT 12" O.C. NEW DOUBLE EPOXY QUARTZ SYSTEM, COLOR TO MATCH EXISTING. NEW HARDIEBACKER 500 BACKER BOARD INSTALLED PER MFR. INSTRUCTIONS. EXISTING 8" MASONRY UNIT WALL. EXISTING 7 1/4" HARDIE ARTISAN LAP SIDING INSTALLED AT 1 1/4" OVERLAP. REPAINT EXISTING 1"x1" PRESSURE TREATED FURRING STRIPS AT 16" O.C. EXISTING HARDIE WRAP WEATHER BARRIER. 	<p>B HARDIE ARTISAN LAP SIDING/ IPE WOOD</p>  <ol style="list-style-type: none"> 1"x1" PRESSURE TREATED FURRING STRIPS AT 12" O.C. 1"x4" IPE WOOD, DOUBLE GROOVED, HUNG HORIZONTALLY WITH IPE CLIP FASTENERS. REFINISH EXISTING 8" MASONRY UNIT WALL. EXISTING 7 1/4" HARDIE ARTISAN LAP SIDING INSTALLED AT 1 1/4" OVERLAP. REPAINT. EXISTING 1"x1" PRESSURE TREATED FURRING STRIPS AT 16" O.C. EXISTING HARDIE WRAP WEATHER BARRIER. 	<p>C HARDIE ARTISAN LAP SIDING/ EXPOSED CEMENT BLOCK</p>  <ol style="list-style-type: none"> EXISTING 7/8" MTL. HAT CHANNEL STUDS AT 12" O.C. EXISTING 7 1/4" HARDIE ARTISAN LAP SIDING INSTALLED AT 1 1/4" OVERLAP. REPAINT EXISTING 8" MASONRY UNIT WALL. TOOLED JOINTS. 	<p>D DOUBLE EPOXY WAINSCOT/ DOUBLE EPOXY WAINSCOT</p>  <ol style="list-style-type: none"> EXISTING 4" MASONRY UNIT WALL. NEW 1X PRESSURE TREATED FURRING STRIPS AT 12" O.C. NEW HARDIEBACKER 500 BACKER BOARD. NEW DOUBLE EPOXY QUARTZ SYSTEM, COLOR TO MATCH EXISTING.
<p>E IPE WOOD/ IPE WOOD</p>  <ol style="list-style-type: none"> EXISTING 4" MASONRY UNIT WALL. EXISTING 1X PRESSURE TREATED FURRING STRIPS AT 12" O.C. 1"x4" IPE WOOD, DOUBLE GROOVED, HUNG HORIZONTALLY WITH IPE CLIP FASTENERS. REFINISH 	<p>F DOUBLE EPOXY WAINSCOT / CONCRETE BLOCK</p>  <ol style="list-style-type: none"> EXISTING 4" MASONRY UNIT WALL. NEW 1X PRESSURE TREATED FURRING STRIPS AT 12" O.C. NEW HARDIEBACKER 500 BACKER BOARD. NEW DOUBLE EPOXY QUARTZ SYSTEM, COLOR TO MATCH EXISTING. TOOLED JOINTS. 	<p>G IPE WOOD / CONCRETE BLOCK</p>  <ol style="list-style-type: none"> EXISTING 4" MASONRY UNIT WALL. EXISTING 1X PRESSURE TREATED FURRING STRIPS AT 12" O.C. 1"x4" IPE WOOD, DOUBLE GROOVED, HUNG HORIZONTALLY WITH IPE CLIP FASTENERS. REFINISH TOOLED JOINTS. 	<p>H INTERIOR PT WOOD STUD WALL</p>  <ol style="list-style-type: none"> NEW 2X4 P.T. WOOD STUD @ 24" O.C. NEW BATT INSULATION AS REQUIRED. NEW SHEATING T.B.D.
<p>I EXT. WOOD STUD W/HARDIE ARTISAN LAP SIDING</p>  <ol style="list-style-type: none"> NEW 2X6 P.T. WOOD STUDS @ 24" O.C. NEW BATT INSULATION AS REQUIRED. NEW SHEATING T.B.D. NEW 1"x1" PRESSURE TREATED FURRING STRIPS AT 12" O.C. NEW 7 1/4" HARDIE ARTISAN LAP SIDING INSTALLED AT 1 1/4" OVERLAP. NEW HARDIE WRAP WEATHER BARRIER. 			

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BUILDING SYSTEMS & PARTITION TYPES

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<p>703 SIGNS</p> <p>FIGURE 703.7.2.4 INTERNATIONAL SYMBOL OF ACCESS FOR HEARING LOSS</p> <p>FIGURE 703.7.2.3 VOLUME-CONTROLLED TELEPHONE</p> <p>FIGURE 703.7.2.2 INTERNATIONAL TTY SYMBOL</p> <p>FIGURE 703.7.2.1 INTERNATIONAL SYMBOL OF ACCESSIBILITY</p> <p>Figure 703.6 Pictogram Field</p>	<p>302 FLOOR OR GROUND SURFACES</p> <p>FIGURE 302.2 CARPET ON FLOOR OR GROUND SURFACES</p> <p>FIGURE 303.2 VERTICAL CHANGES IN LEVEL</p> <p>FIGURE 303.3 BEVELED CHANGES IN LEVEL</p>	<p>504 STAIRWAYS</p> <p>FIGURE 602.5 DRINKING FOUNTAIN SPOUT LOCATION</p> <p>FIGURE 504.2 TREADS AND RISERS FOR ACCESSIBLE STAIRWAYS</p> <p>FIGURE 505.10.2 TOP HANDRAIL EXTENSIONS AT STAIRS</p> <p>FIGURE 505.10.3 BOTTOM HANDRAIL EXTENSIONS AT STAIRS</p> <p>FIGURE 505.10.1 TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMPS</p> <p>FIGURE 505.4 HANDRAIL HEIGHT</p> <p>FIGURE 505.5 HANDRAIL CLEARANCE</p>	<p>405 RAMPS</p> <p>FIGURE 405.7 RAMP LANDINGS</p> <p>FIGURE 403.5.2.1 (A)</p> <p>FIGURE 403.5.2.1 (B)</p> <p>FIGURE 403.5 CLEAR WIDTH OF AN ACCESSIBLE ROUTE</p>	<p>403 ACCESSIBLE ROUTE</p> <p>FIGURE 308.2.2 OBSTRUCTED HIGH FORWARD REACH</p> <p>FIGURE 308.3.1 UNOBSTRUCTED SIDE REACH</p> <p>FIGURE 308.2.1 UNOBSTRUCTED FORWARD REACH</p> <p>FIGURE 308.3.2 OBSTRUCTED HIGH SIDE REACH</p> <p>FIGURE 307.2 LIMITS OF PROTRUDING OBJECTS</p> <p>FIGURE 307.4 VERTICAL CLEARANCE</p>	<p>306 TOE AND KNEE CLEARANCE</p> <p>FIGURE 306.2 TOE AND KNEE CLEARANCE</p> <p>FIGURE 305.3 SIZE OF CLEAR GROUND SPACE</p> <p>FIGURE 305.5 POSITION OF CLEAR FLOOR OR GROUND SPACE</p> <p>FIGURE 305.7.1 MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH</p> <p>FIGURE 305.7.2 MANEUVERING CLEARANCE IN AN ALCOVE, PARALLEL APPROACH</p> <p>305 CLEAR GROUND SPACE</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (NEW CONSTRUCTION)</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (EXISTING BUILDINGS)</p>
<p>FIGURE 703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FLOOR OR GROUND</p> <p>FIGURE 703.4.2 LOCATION OF TACTILE SIGNS AT DOORS</p> <p>FIGURE 703.3.2 POSITION OF BRAILLE</p> <p>FIGURE 703.2.5 HEIGHT OF RAISED CHARACTERS</p>	<p>303 CHANGES IN LEVEL</p> <p>304 DOORS AND DOORWAYS</p> <p>FIGURE 404.2.5 TWO DOORS IN SERIES</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p> <p>FIGURE 404.2.3 CLEAR WIDTH OF DOORWAYS</p> <p>FIGURE 404.2.4.1 MANEUVERING CLEARANCES AT SWINGING DOORS</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p>	<p>505 HANDRAILS</p> <p>FIGURE 404.2.5 TWO DOORS IN SERIES</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p> <p>FIGURE 404.2.3 CLEAR WIDTH OF DOORWAYS</p> <p>FIGURE 404.2.4.1 MANEUVERING CLEARANCES AT SWINGING DOORS</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p>	<p>405 RAMPS</p> <p>FIGURE 405.7 RAMP LANDINGS</p> <p>FIGURE 403.5.2.1 (A)</p> <p>FIGURE 403.5.2.1 (B)</p> <p>FIGURE 403.5 CLEAR WIDTH OF AN ACCESSIBLE ROUTE</p>	<p>403 ACCESSIBLE ROUTE</p> <p>FIGURE 308.2.2 OBSTRUCTED HIGH FORWARD REACH</p> <p>FIGURE 308.3.1 UNOBSTRUCTED SIDE REACH</p> <p>FIGURE 308.2.1 UNOBSTRUCTED FORWARD REACH</p> <p>FIGURE 308.3.2 OBSTRUCTED HIGH SIDE REACH</p> <p>FIGURE 307.2 LIMITS OF PROTRUDING OBJECTS</p> <p>FIGURE 307.4 VERTICAL CLEARANCE</p>	<p>306 TOE AND KNEE CLEARANCE</p> <p>FIGURE 306.2 TOE AND KNEE CLEARANCE</p> <p>FIGURE 305.3 SIZE OF CLEAR GROUND SPACE</p> <p>FIGURE 305.5 POSITION OF CLEAR FLOOR OR GROUND SPACE</p> <p>FIGURE 305.7.1 MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH</p> <p>FIGURE 305.7.2 MANEUVERING CLEARANCE IN AN ALCOVE, PARALLEL APPROACH</p> <p>305 CLEAR GROUND SPACE</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (NEW CONSTRUCTION)</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (EXISTING BUILDINGS)</p>
<p>703 SIGNS</p> <p>FIGURE 703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FLOOR OR GROUND</p> <p>FIGURE 703.4.2 LOCATION OF TACTILE SIGNS AT DOORS</p> <p>FIGURE 703.3.2 POSITION OF BRAILLE</p> <p>FIGURE 703.2.5 HEIGHT OF RAISED CHARACTERS</p>	<p>302 FLOOR OR GROUND SURFACES</p> <p>FIGURE 606.3 HEIGHT ON LAVATORIES, SINKS, AND MIRRORS</p> <p>FIGURE 605.2 HEIGHT AND DEPTH OF URINALS</p> <p>FIGURE 404.7 DISPENSER OUTLET LOCATION</p> <p>FIGURE 404.3.1 SIZE OF CLEARANCE AT WATER CLOSETS</p> <p>FIGURE 404.5.1 SIDE WALL GRAB BAR AT WATER CLOSETS</p> <p>FIGURE 404.5.2 REAR WALL GRAB BAR AT WATER CLOSETS</p>	<p>505 HANDRAILS</p> <p>FIGURE 404.2.5 TWO DOORS IN SERIES</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p> <p>FIGURE 404.2.3 CLEAR WIDTH OF DOORWAYS</p> <p>FIGURE 404.2.4.1 MANEUVERING CLEARANCES AT SWINGING DOORS</p> <p>FIGURE 404.2.3.3 MANEUVERING CLEARANCES AT SLIDING AND FOLDING DOORS</p>	<p>405 RAMPS</p> <p>FIGURE 405.7 RAMP LANDINGS</p> <p>FIGURE 403.5.2.1 (A)</p> <p>FIGURE 403.5.2.1 (B)</p> <p>FIGURE 403.5 CLEAR WIDTH OF AN ACCESSIBLE ROUTE</p>	<p>403 ACCESSIBLE ROUTE</p> <p>FIGURE 308.2.2 OBSTRUCTED HIGH FORWARD REACH</p> <p>FIGURE 308.3.1 UNOBSTRUCTED SIDE REACH</p> <p>FIGURE 308.2.1 UNOBSTRUCTED FORWARD REACH</p> <p>FIGURE 308.3.2 OBSTRUCTED HIGH SIDE REACH</p> <p>FIGURE 307.2 LIMITS OF PROTRUDING OBJECTS</p> <p>FIGURE 307.4 VERTICAL CLEARANCE</p>	<p>306 TOE AND KNEE CLEARANCE</p> <p>FIGURE 306.2 TOE AND KNEE CLEARANCE</p> <p>FIGURE 305.3 SIZE OF CLEAR GROUND SPACE</p> <p>FIGURE 305.5 POSITION OF CLEAR FLOOR OR GROUND SPACE</p> <p>FIGURE 305.7.1 MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH</p> <p>FIGURE 305.7.2 MANEUVERING CLEARANCE IN AN ALCOVE, PARALLEL APPROACH</p> <p>305 CLEAR GROUND SPACE</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (NEW CONSTRUCTION)</p> <p>FIGURE 304.3 SIZE OF WHEELCHAIR TURNING SPACE (EXISTING BUILDINGS)</p>

FBC - ANSI 117 Requirements
SCALE: 1/4" = 1'-0"

EXHIBIT A - 12A.2 Naples 30% Design Plan

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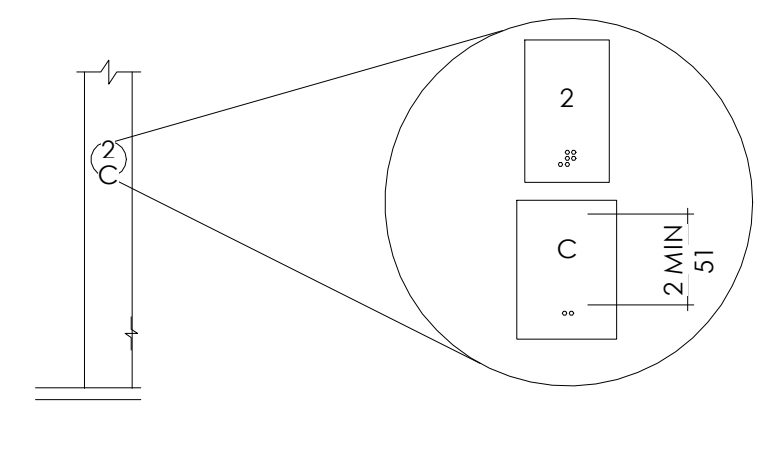


FIGURE 407.2.3.2
CAR DESIGNATIONS ON JAMBS OF
DESTINATION-ORIENTED ELEVATOR
HOISTWAY ENTRANCES

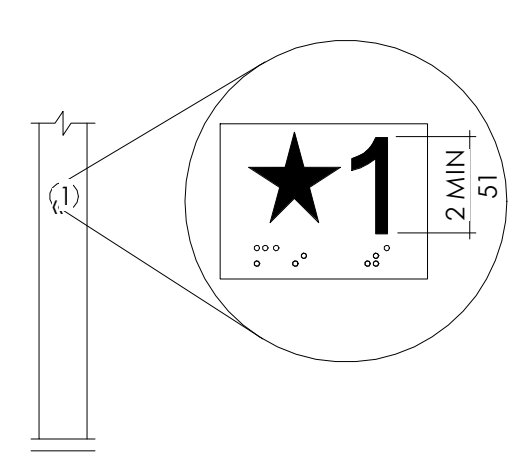
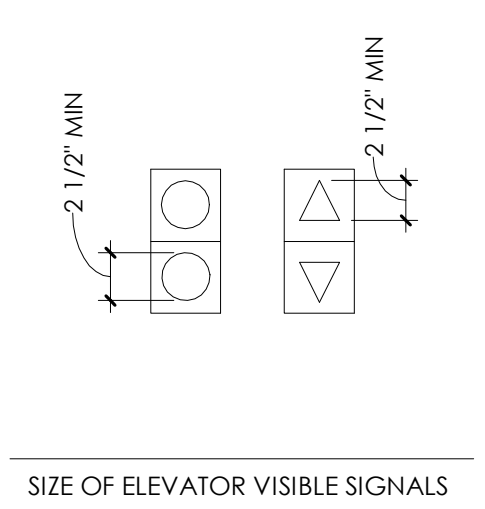
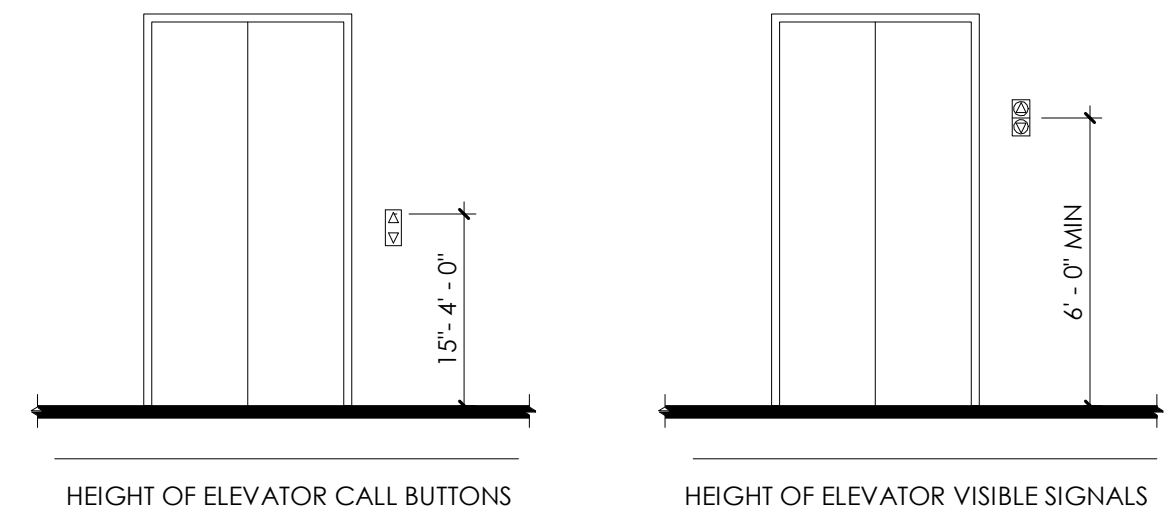
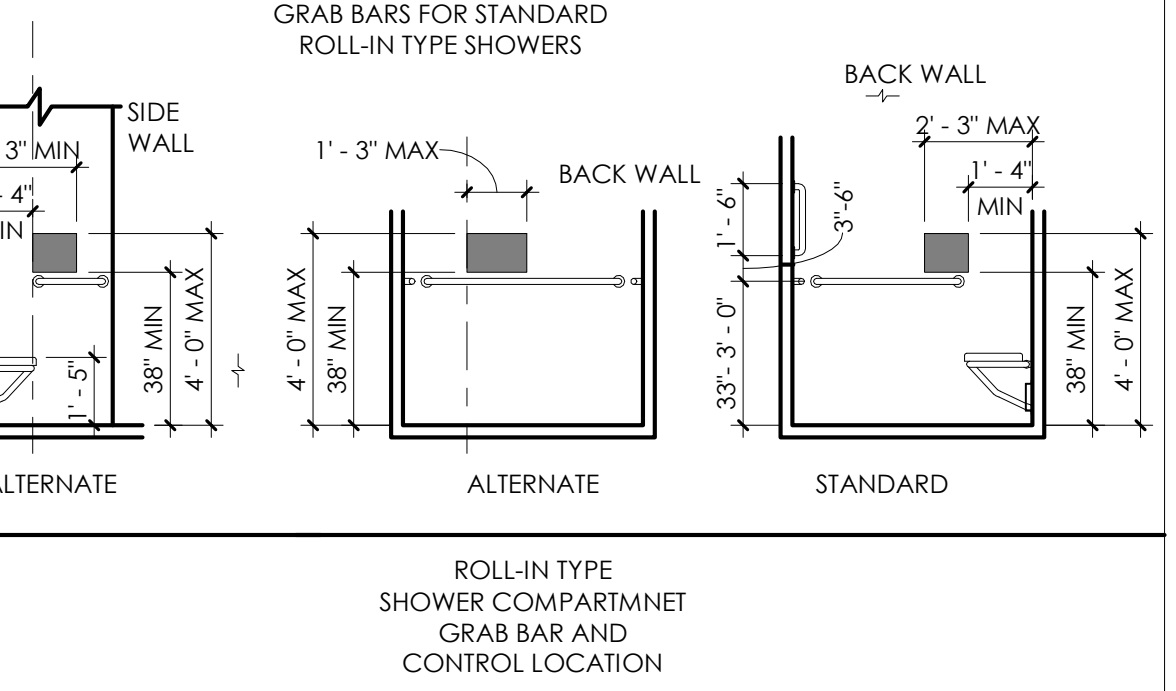
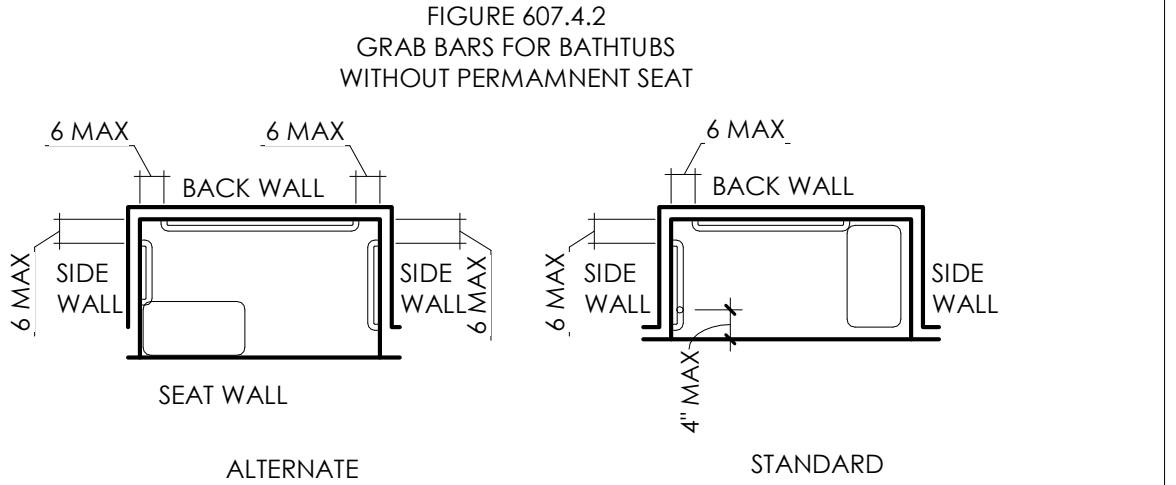
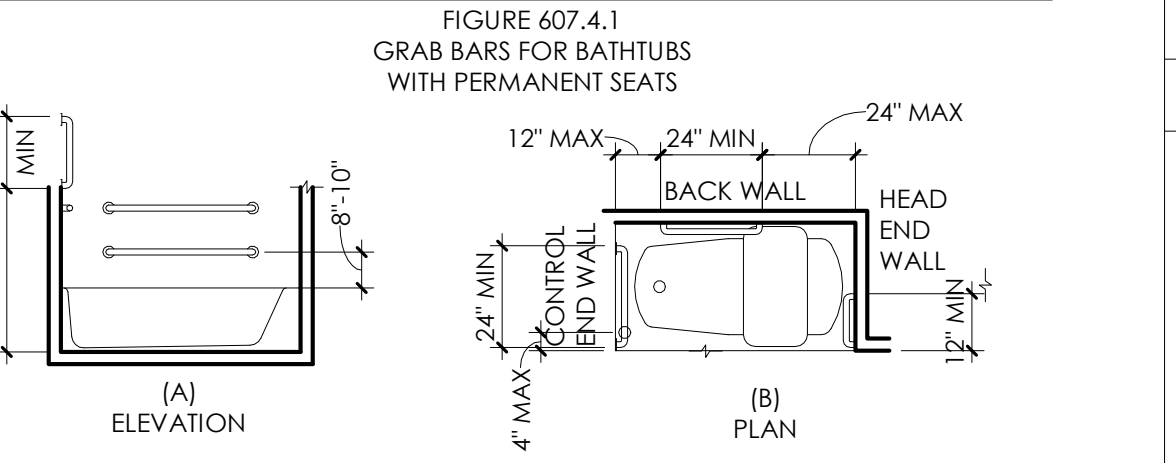
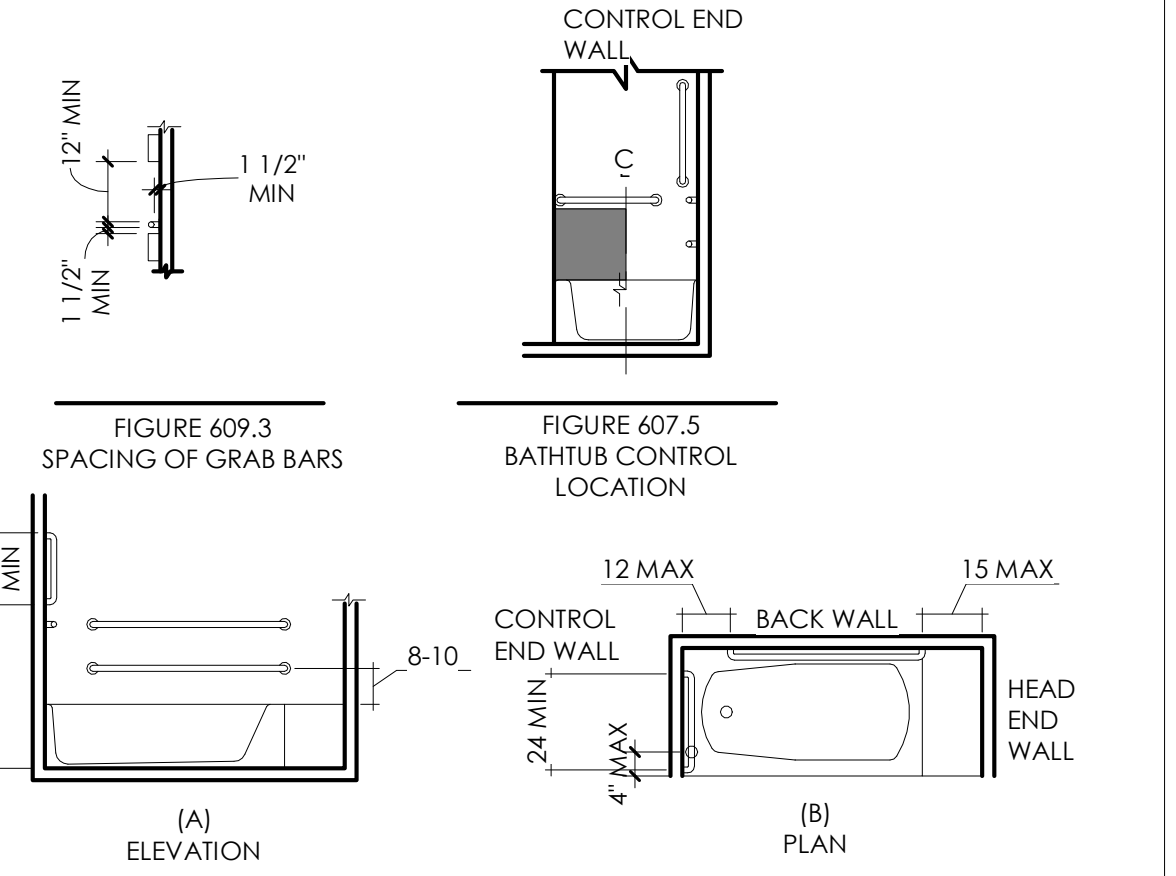


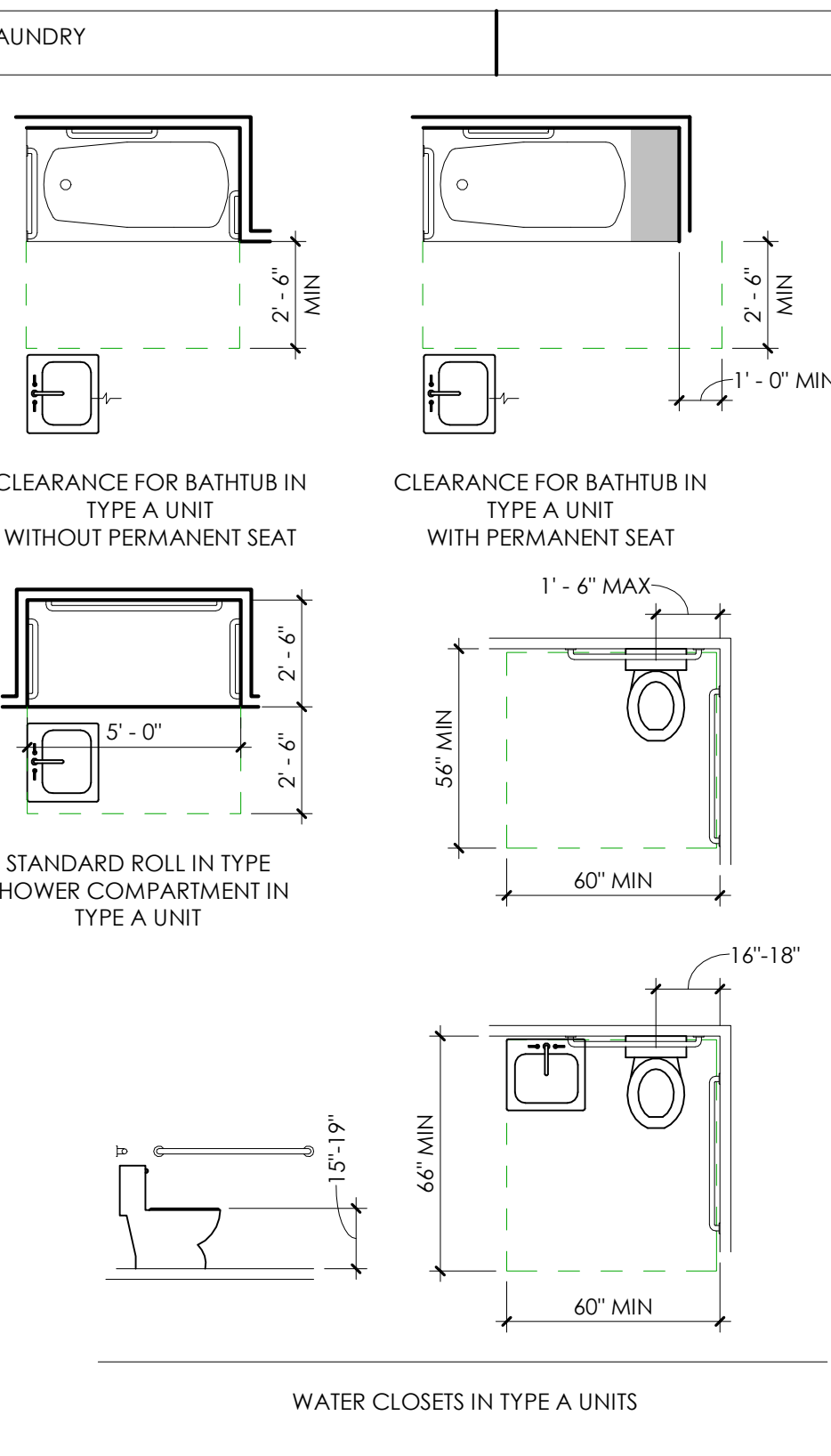
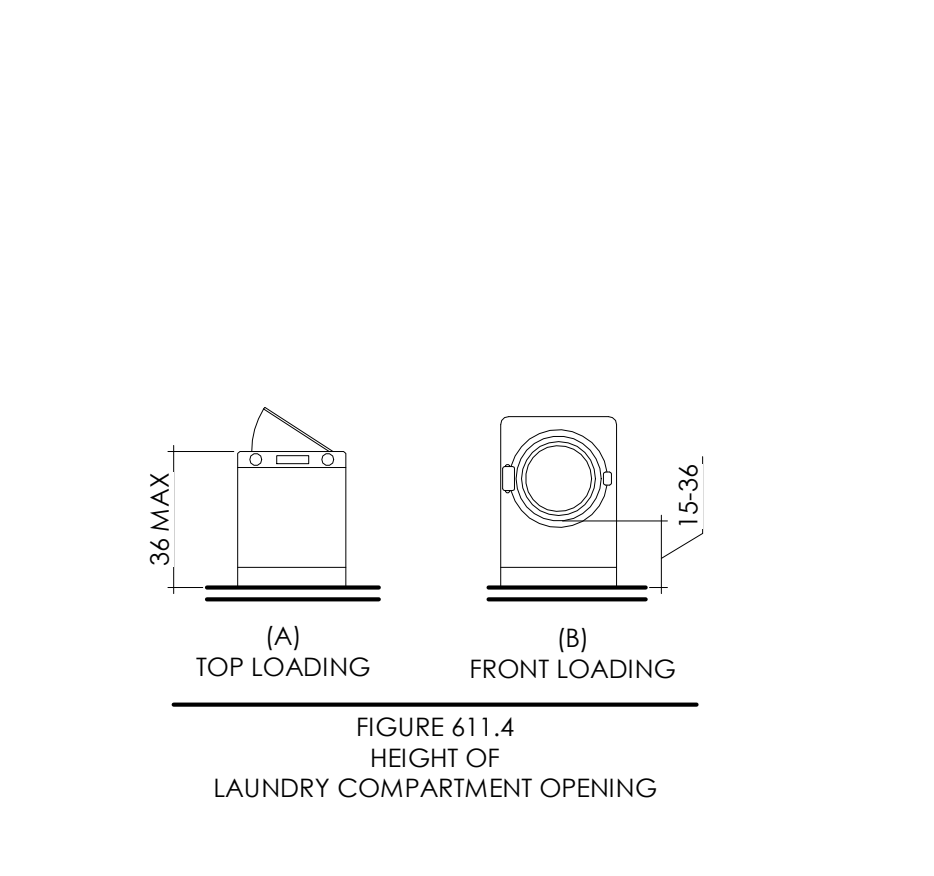
FIGURE 407.2.3.1
FLOOR DESIGNATIONS ON
JAMBS OF ELEVATOR
HOISTWAY ENTRANCES



ELEVATOR CONTROLS



GRAB BARS AND CONTROL LOCATIONS

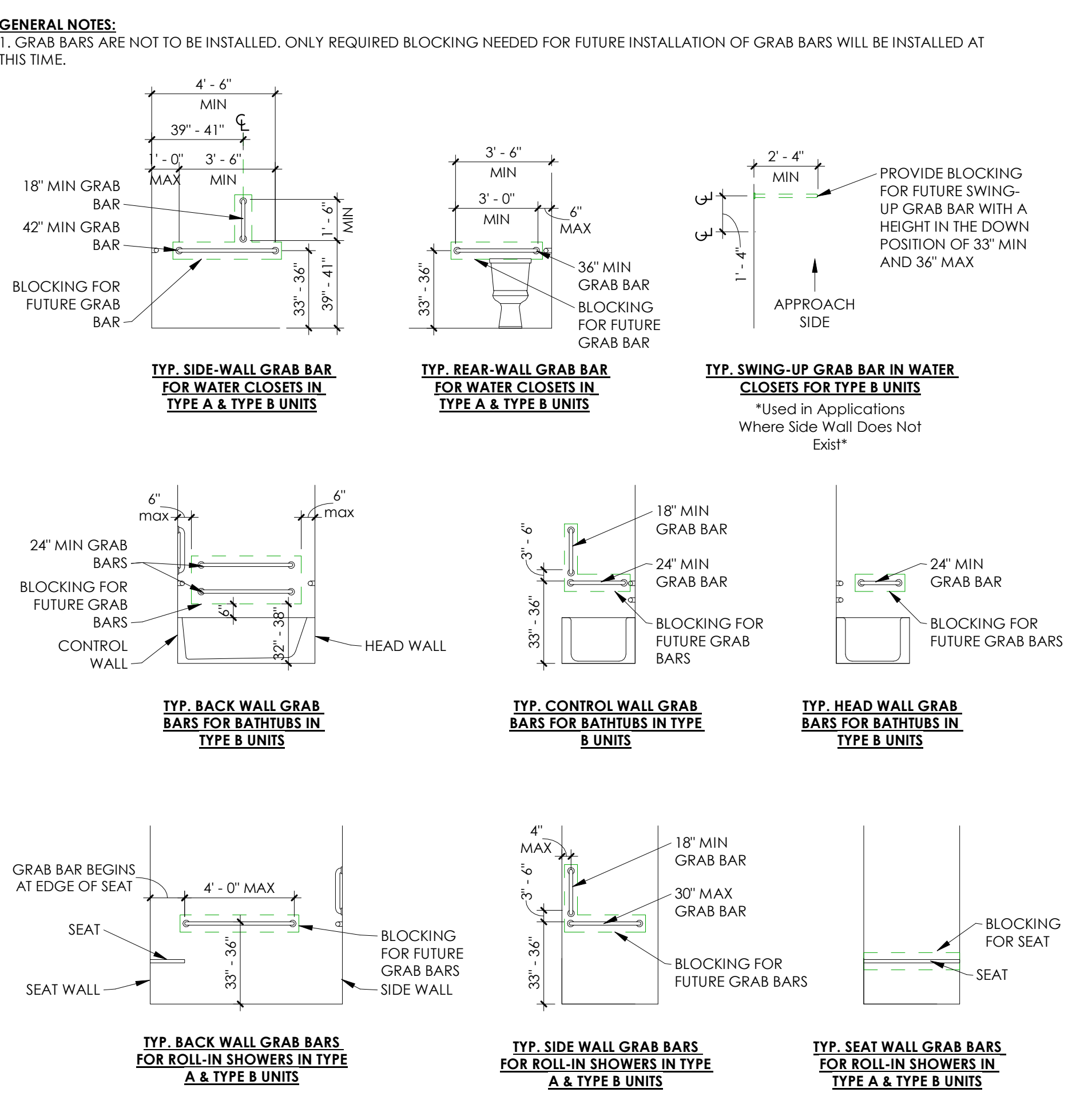


BATHROOM - TYPE A UNITS

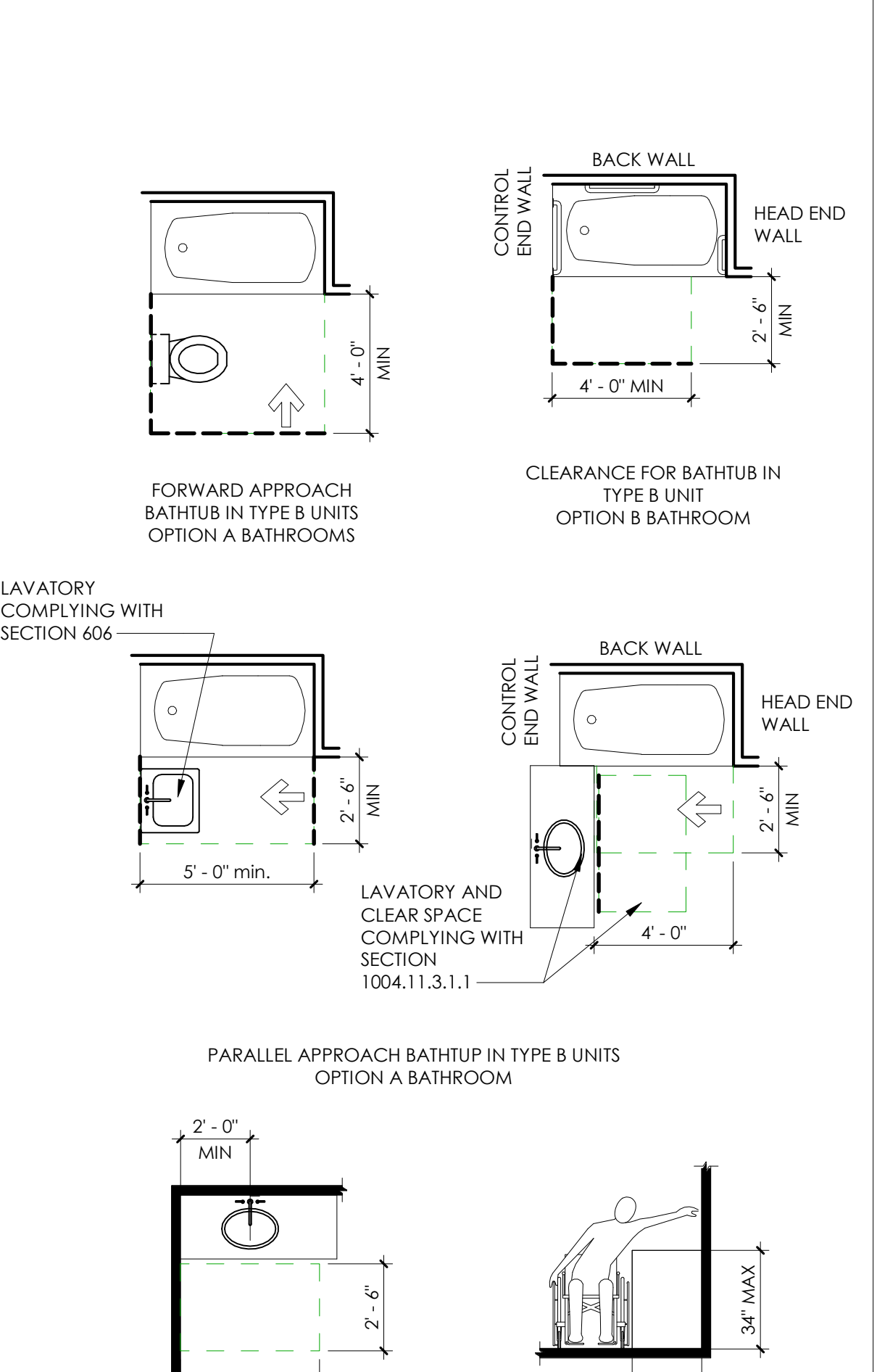


FIGURE 1103.12.1.1, 1104.12.1
MINIMUM KITCHEN CLEARANCE IN
A & B TYPE UNITS

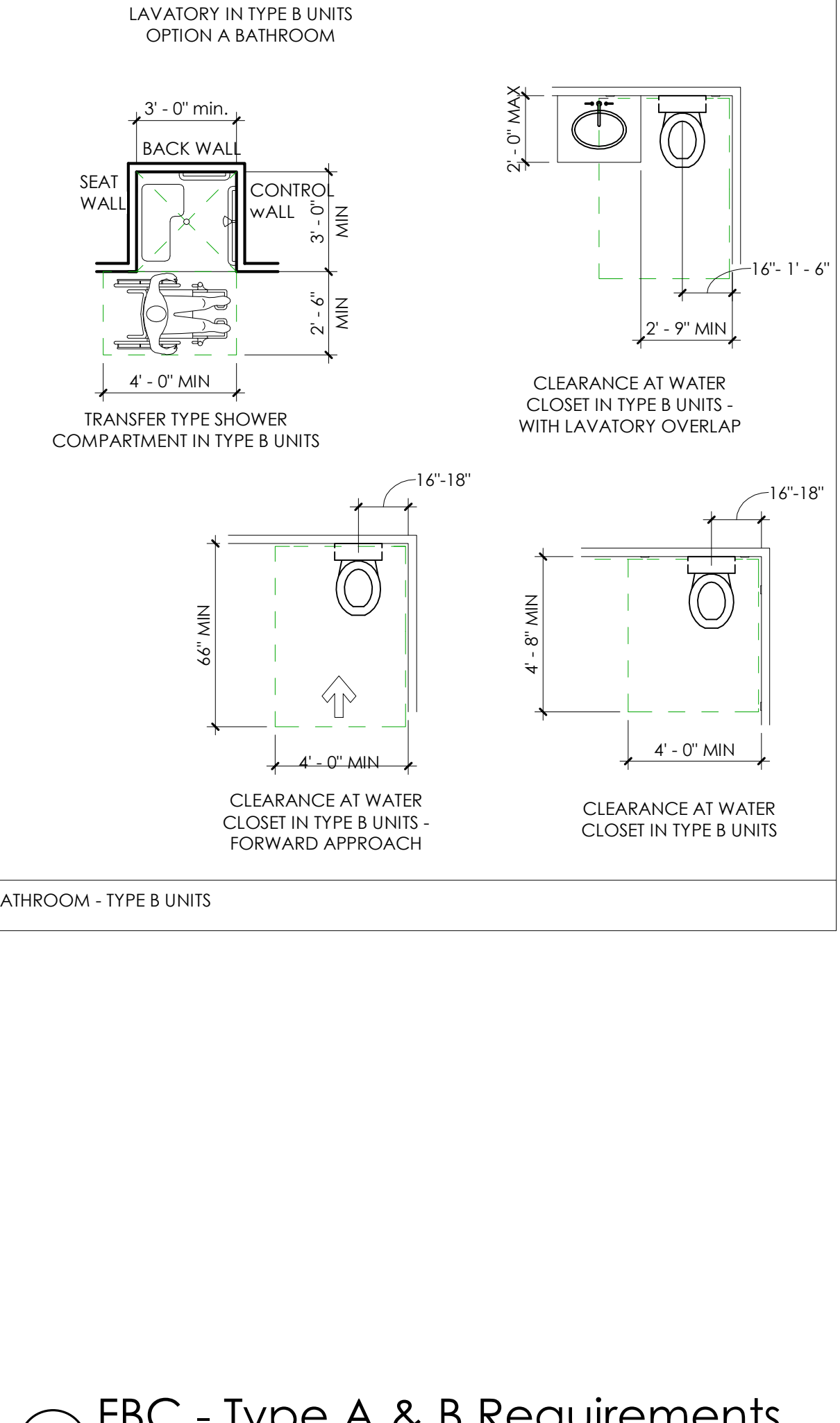
KITCHENS



GRAB BAR AND SHOWER SEAT REINFORCEMENT



BATHROOM - TYPE B UNITS



BATHROOM - TYPE B UNITS

FBC - Type A & B Requirements
SCALE: 1/4" = 1'-0"

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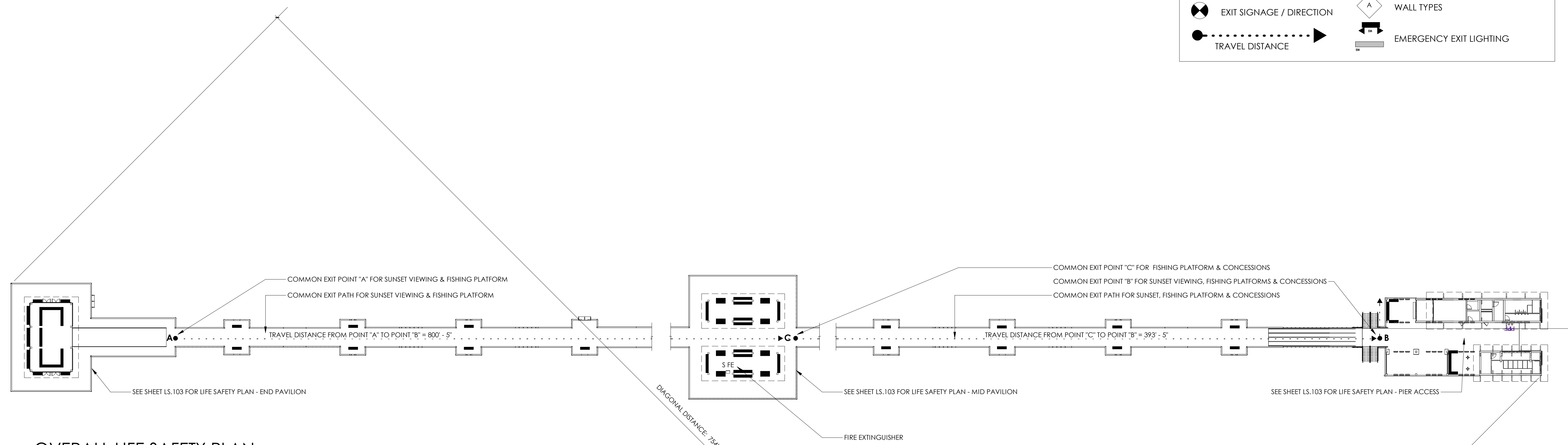
LIFE SAFETY PLAN

PHASE CD
PR NO 23118

LS.102

LIFE SAFETY LEGEND

- INDICATES CMU WALL
- INDICATES PARTITION WALL
- INDICATES CONCRETE WALL
- INDICATES LOCATION OF 1-HOUR RATED WALL
- INDICATES LOCATION OF 2-HOUR RATED WALL
- S FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- SR FE SEMI-RECESSED FIRE EXTINGUISHER, 2A-10BC W/ S.S. CABINET
- FR FE RECESSED FIRE EXTINGUISHER, 2A-10BC W/ IN S.S. CABINET
- EXIT SIGNAGE / DIRECTION
- WALL TYPES
- EMERGENCY EXIT LIGHTING
- TRAVEL DISTANCE



1 OVERALL LIFE SAFETY PLAN
SCALE: 1/32" = 1'-0"

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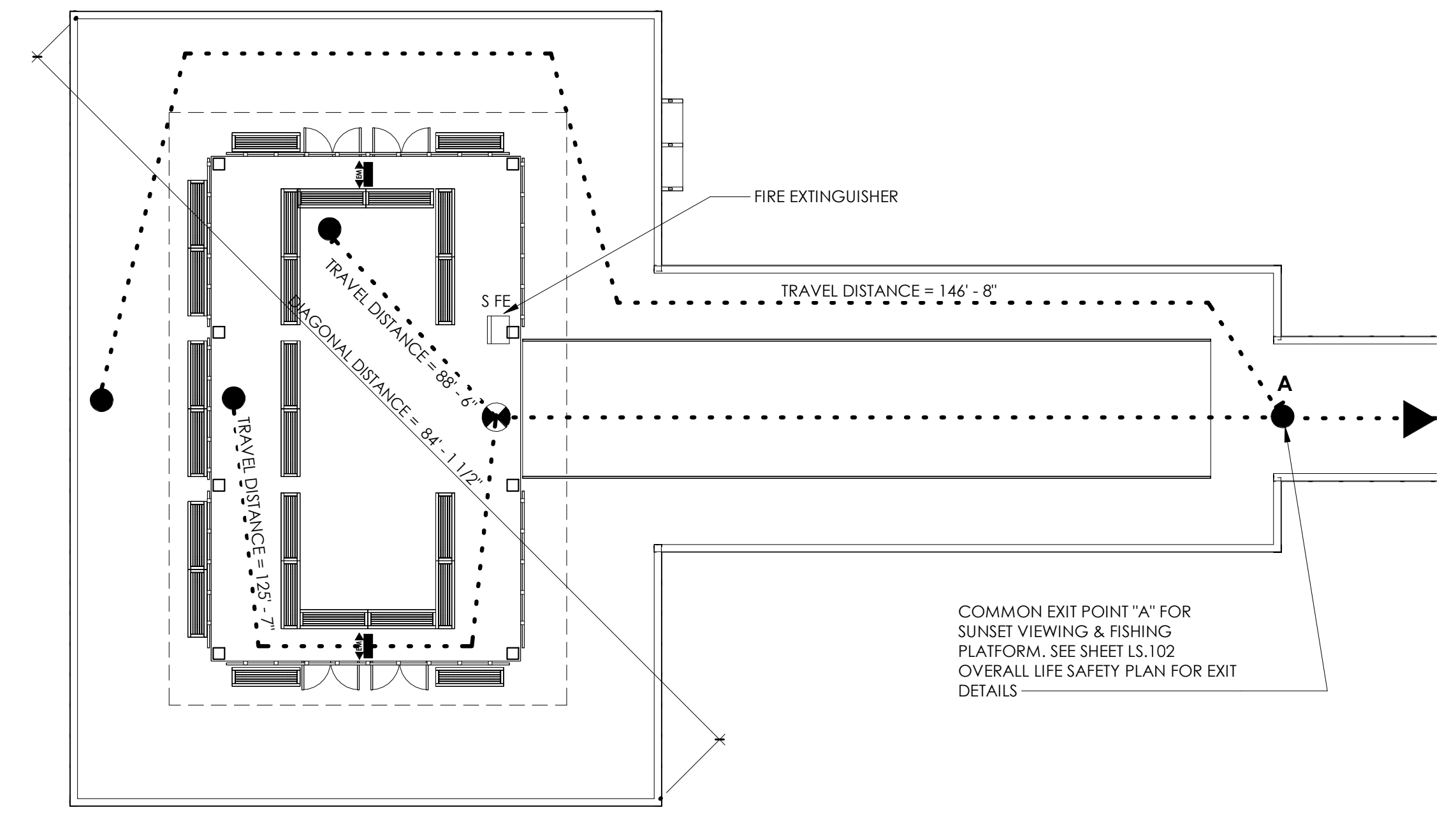
LIFE SAFETY PLAN

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PR NO 23118

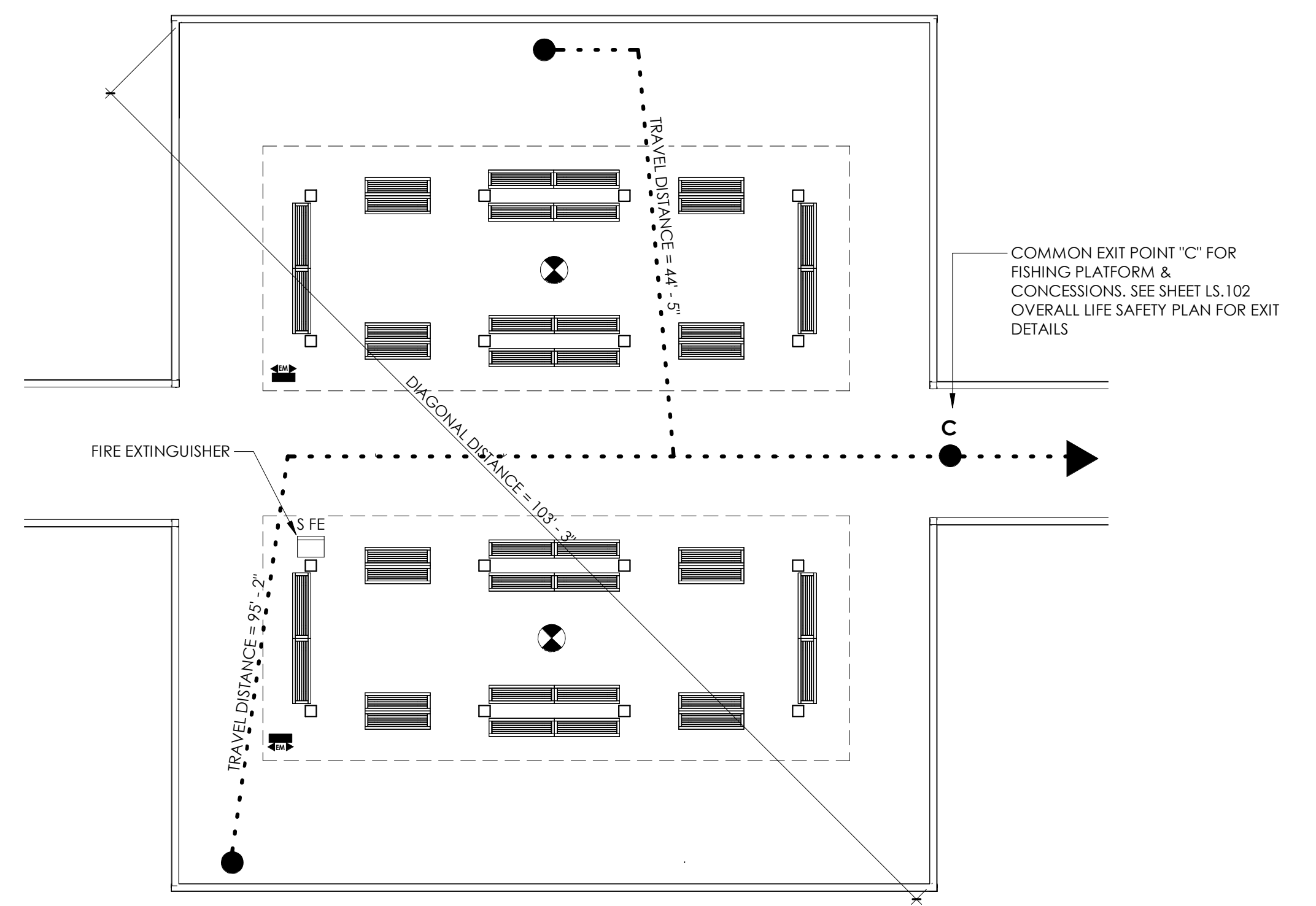
LS.103

LIFE SAFETY LEGEND

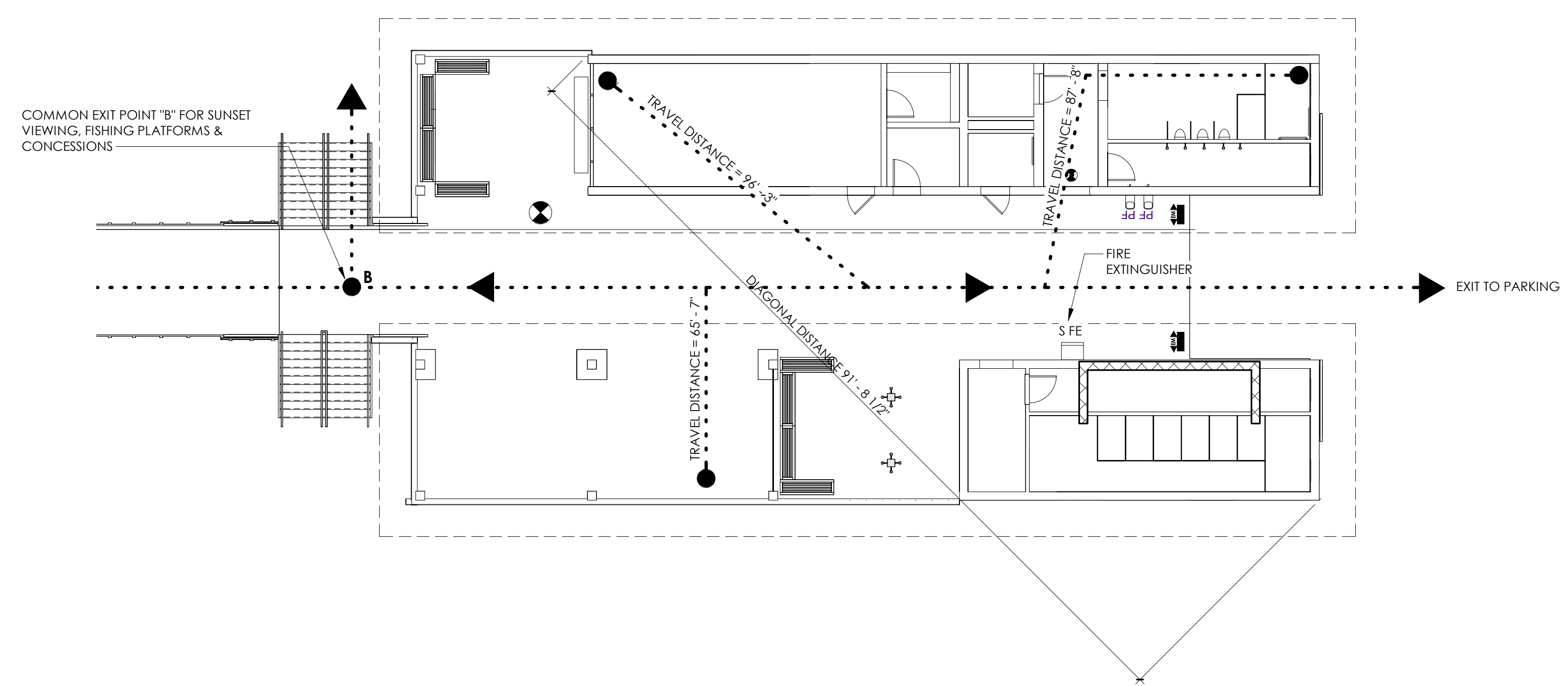
- INDICATES CMU WALL
- INDICATES PARTITION WALL
- INDICATES CONCRETE WALL
- INDICATES LOCATION OF 1-HOUR RATED WALL
- INDICATES LOCATION OF 2-HOUR RATED WALL
- S FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- SR FE SEMI-RECESSED FIRE EXTINGUISHER, 2A-10BC W/ S.S. CABINET
- FR FE RECESSED FIRE EXTINGUISHER, 2A-10BC W/ IN S.S. CABINET
- EXIT SIGNAGE / DIRECTION
- WALL TYPES
- TRAVEL DISTANCE
- EMERGENCY EXIT LIGHTING



1 LIFE SAFETY PLAN - END-PAVILION
SCALE: 3/32" = 1'-0"



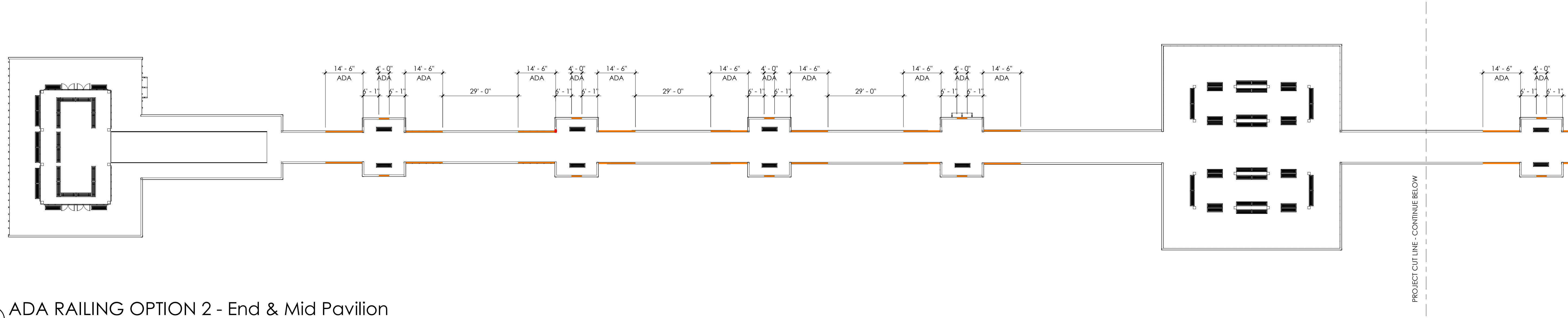
2 LIFE SAFETY PLAN - MID-PAVILION
SCALE: 3/32" = 1'-0"



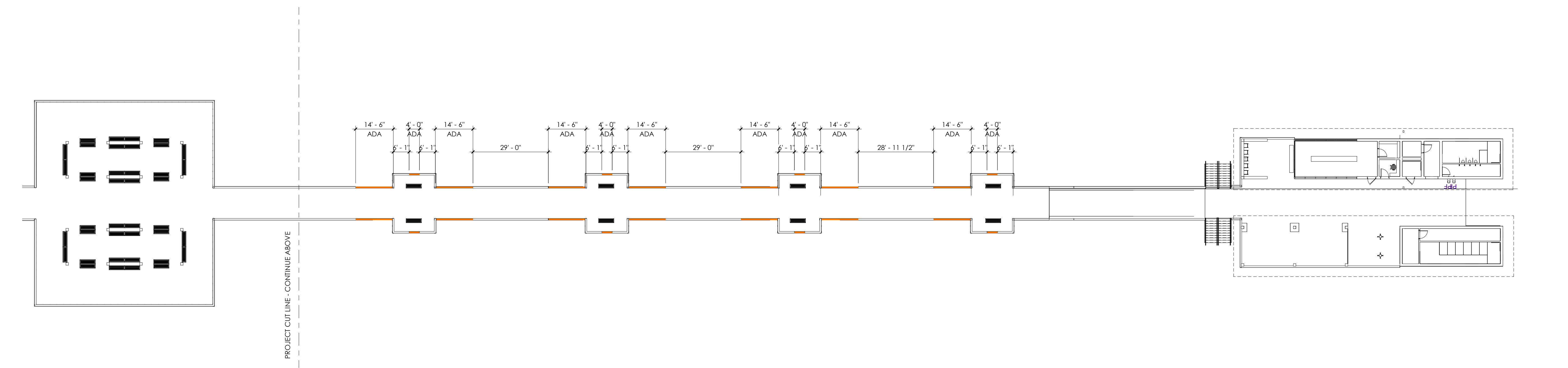
3 LIFE SAFETY PLAN - PIER ACCESS
SCALE: 3/32" = 1'-0"

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① ADA RAILING OPTION 2 - End & Mid Pavilion
SCALE: 1" = 20'-0"



② ADA RAILING OPTION 2 - Mid Pavilion & Pier Access
SCALE: 1" = 20'-0"

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ADA RAILING
OPTION 2

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PR NO 23118

LS.105

EXHIBIT A - 12A.2 Naples 30% Design Plan

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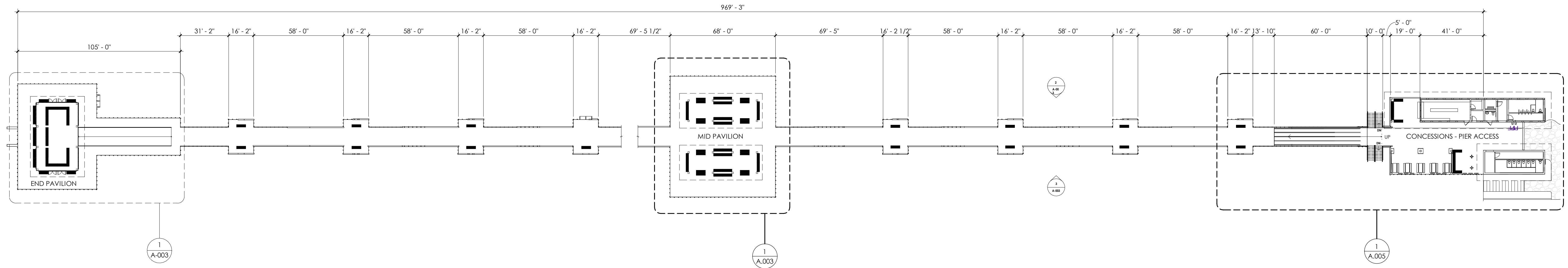
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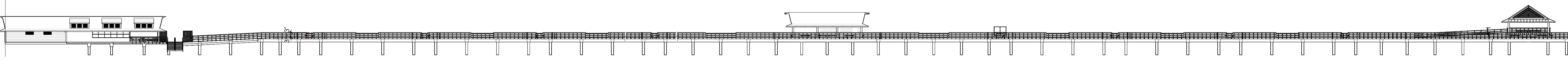
OVERALL VIEWS

PHASE CD
PR NO 23118

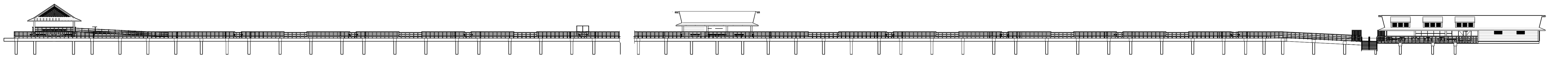
A.001



1 OVERALL PIER FLOOR PLAN
SCALE: 1/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/32" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"

SITE ELEVATION INFORMATION

FEMA ZONE:	VE13 (2012) / VE11 (2019)
AVG CROWN OF ROAD	14' NAVD (2012)
DESIGN FLOOD ELEVATION	12' NAVD (2019)
MID - PAVILION / CONCESSIONS AND STORAGE	13.23' NAVD
END - PAVILION / SUNSET VIEWING DECK	16.23' NAVD
FISHING PLATFORMS	13.23' NAVD

FLOOD VENT CALCULATION:
PER FEMA TB1-03 SHALL NOT BE LESS THAN 1 SQ. INCH PER SQ. FOOT OF ENCLOSED AREA SUBJECT TO FLOODING

X SQ IN NET OPENING REQUIRED
REQUIRED: X FLOOD VENT UNITS (SMARTVENT 1540-520)

PROVIDED SMARTVENT UNITS IN TOTAL
- X UNITS ON XXXX WALLS
- X UNITS ON WEST XXXX WALLS

SITE ELEVATION INFORMATION
NTS

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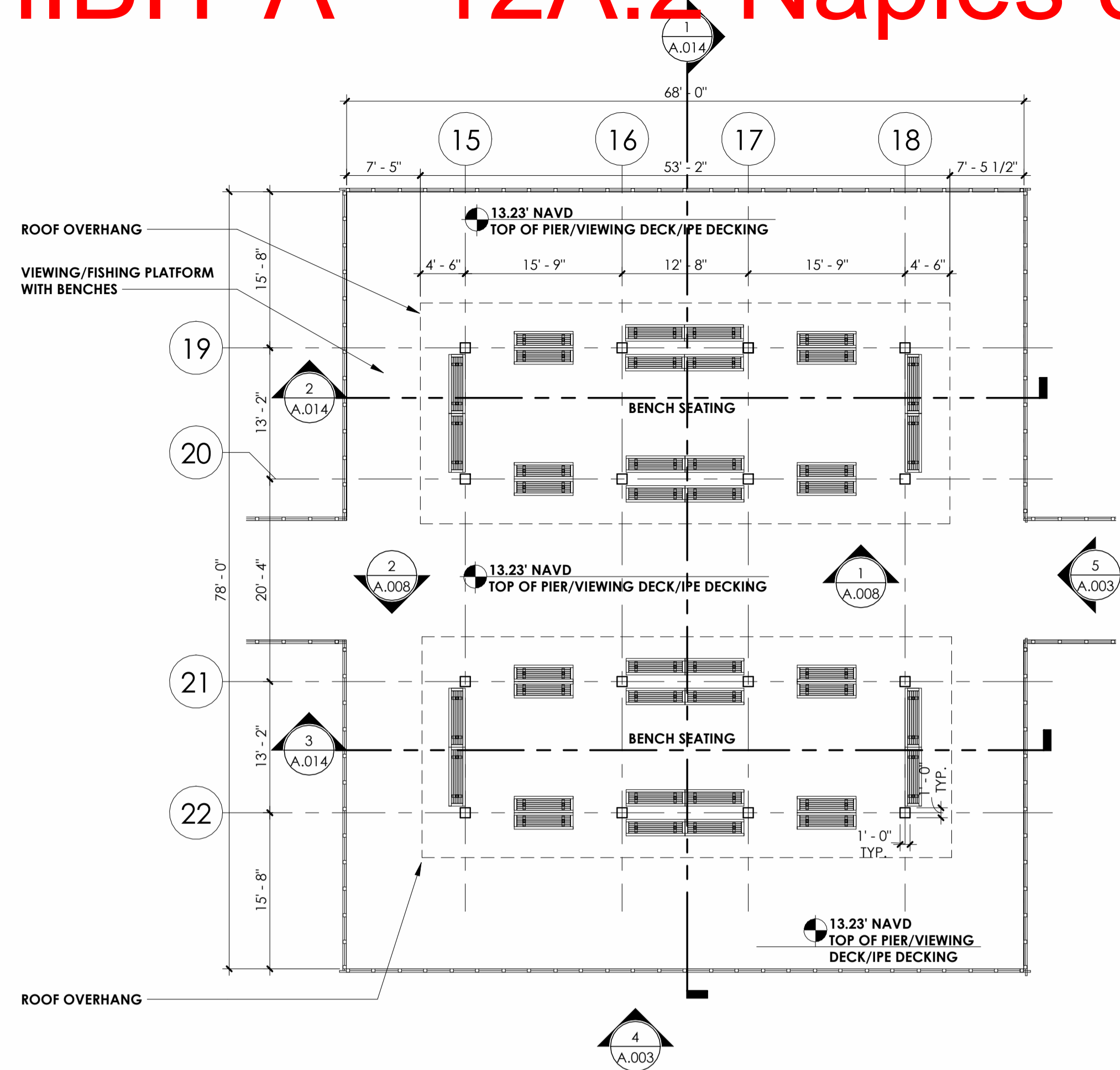
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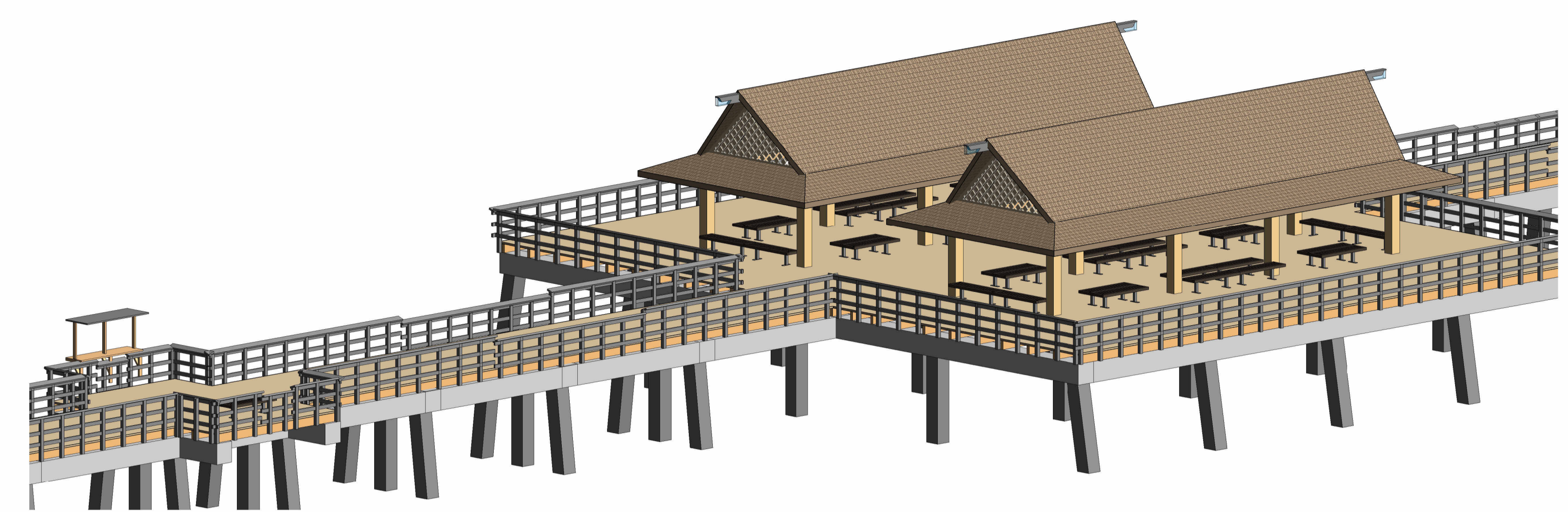
MID-PAVILION
FLOOR PLAN

PHASE CD
PR NO 23118

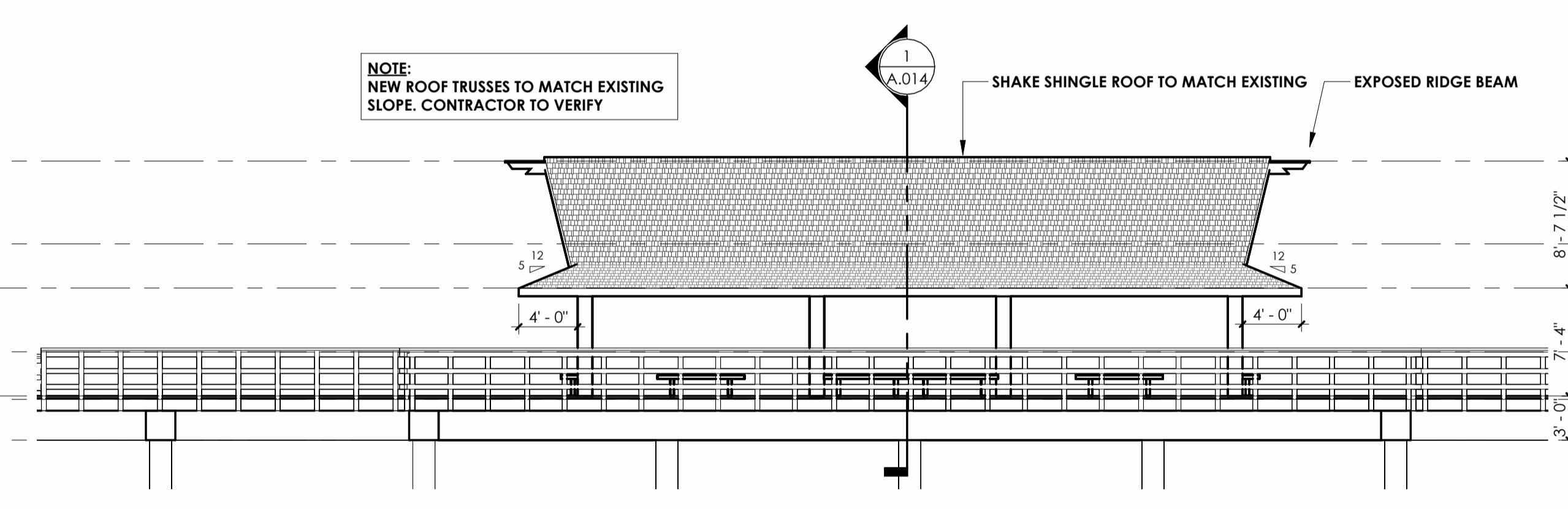
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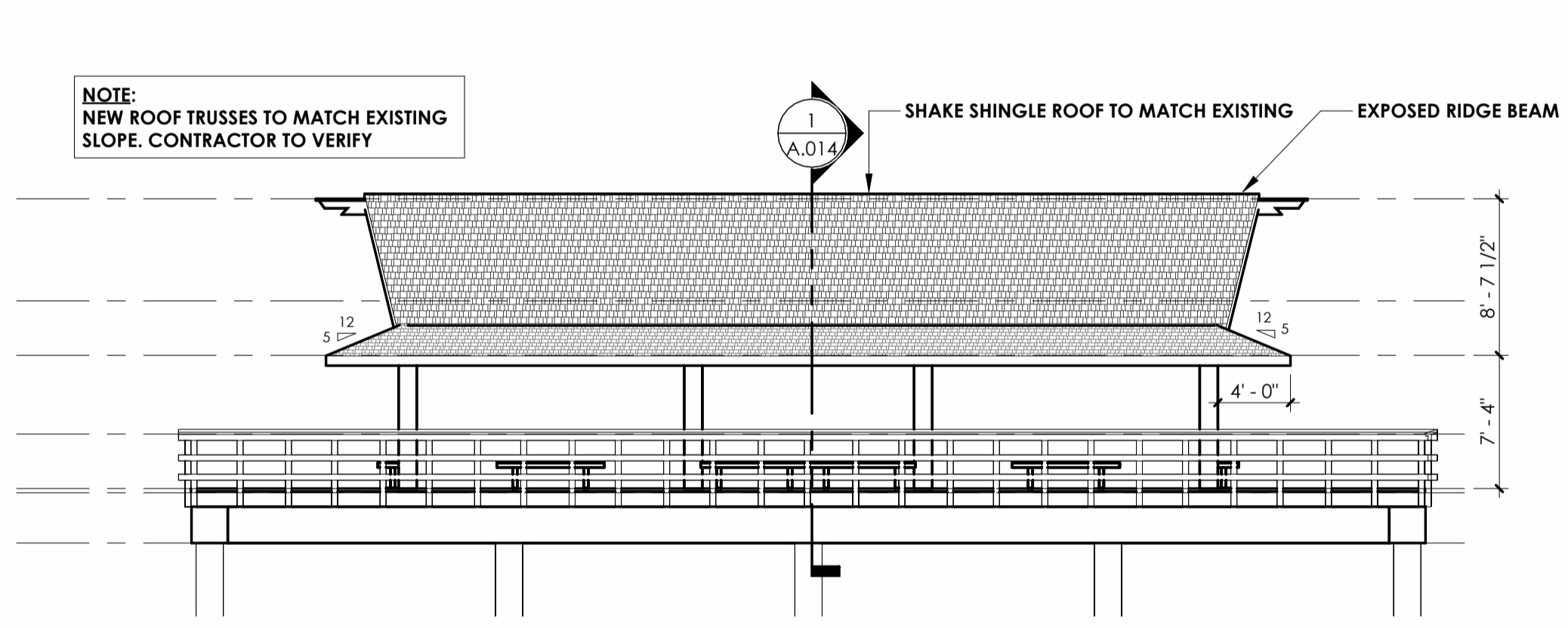
1 MID-PAVILION
SCALE: 3/32" = 1'-0"



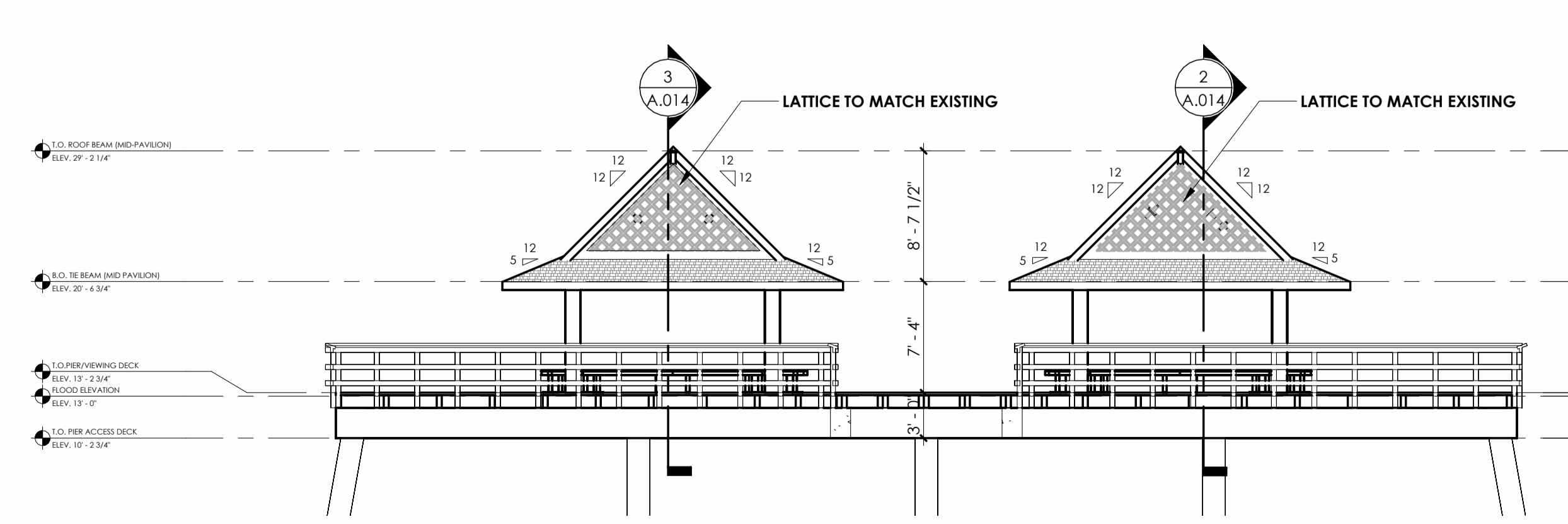
2 3D - MID-PAVILION
NTS



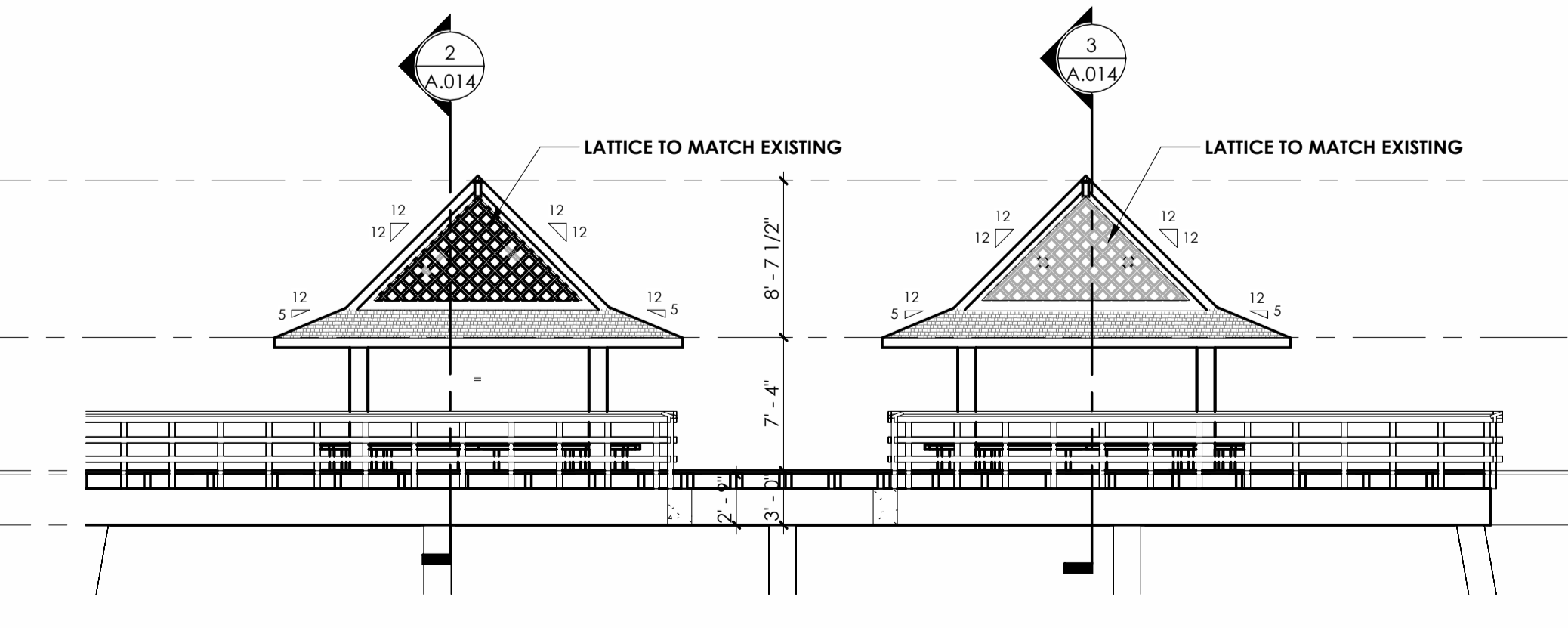
3 NORTH ELEVATION - MID PAVILION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION - MID PAVILION
SCALE: 1/8" = 1'-0"



5 EAST ELEVATION - MID PAVILION
SCALE: 1/8" = 1'-0"



6 WEST ELEVATION - MID PAVILION
SCALE: 1/8" = 1'-0"

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PIER ACCESS DEMO PLAN

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PR NO 23118

A.004

INTERIOR DASHED LINE ADJACENT TO WALLS TO REPRESENT WALL FINISHES AND CEILING AREA FOR KEY NOTE IDENTIFICATION PURPOSES ONLY. CONTRACTOR TO VERIFY DIMENSIONS, HEIGHTS AND AREA INCLUDED IN THE SCOPE OF WORK PRIOR TO INITIATING DEMO WORK.

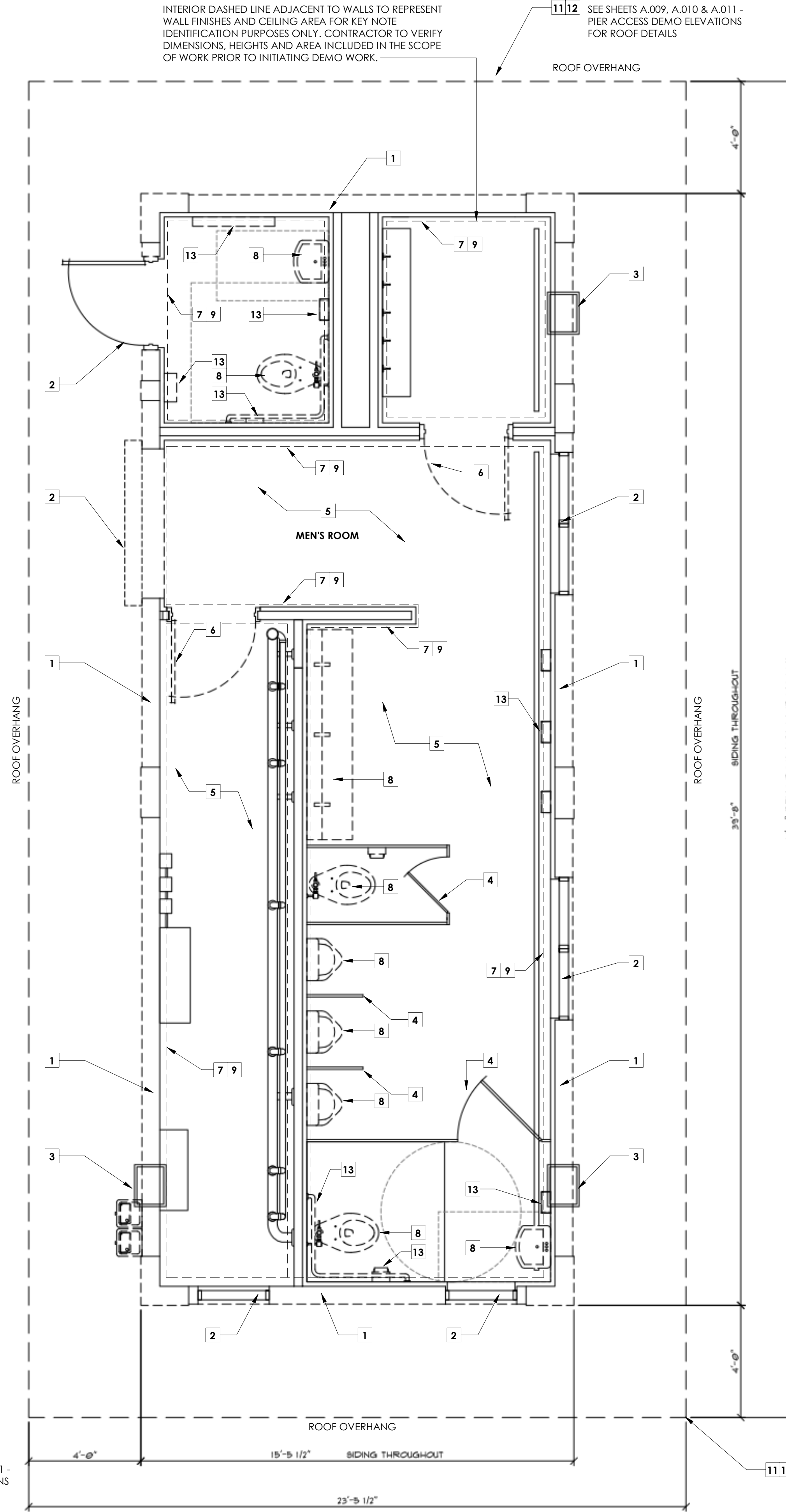
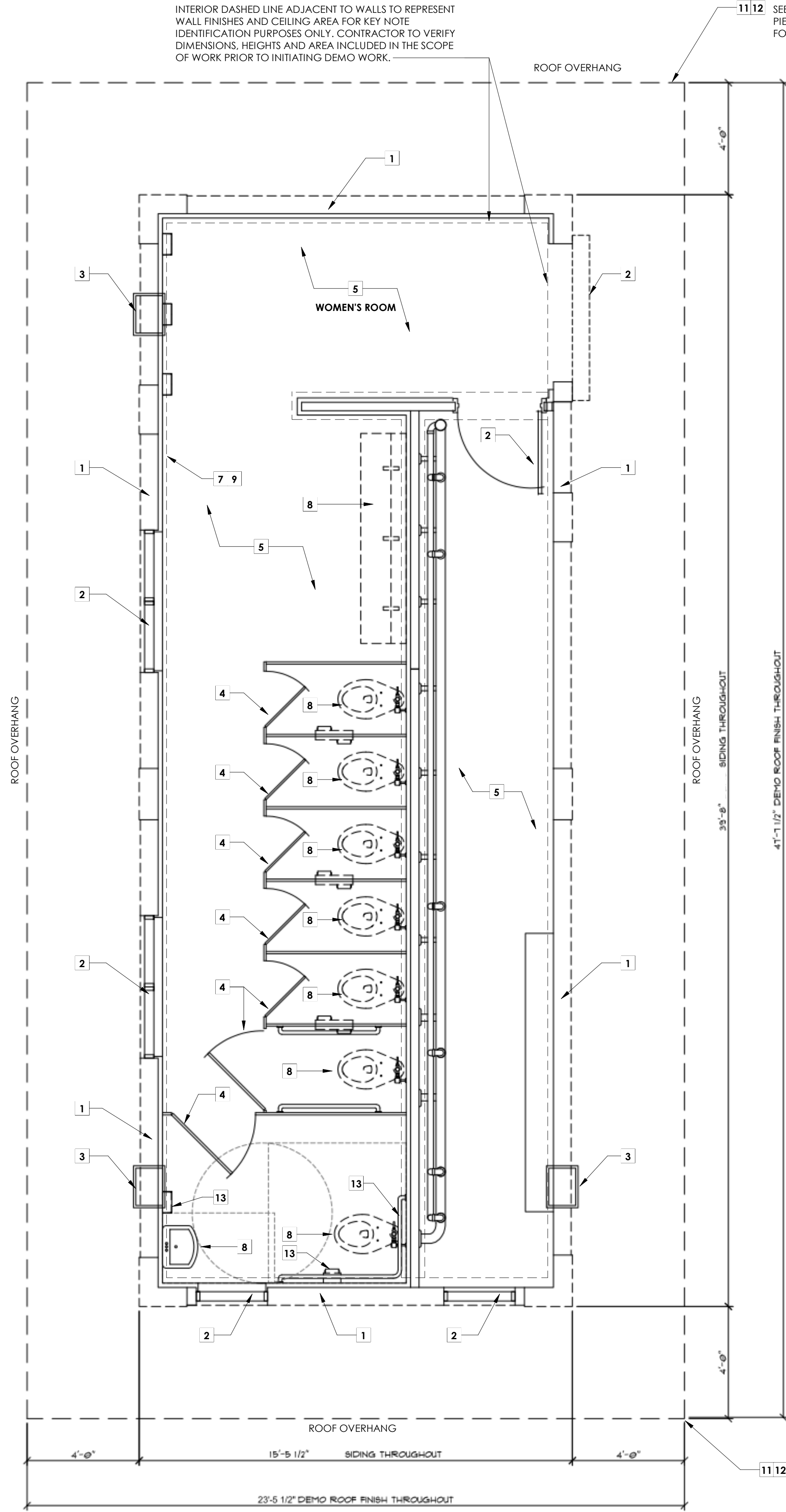
11|12 SEE SHEETS A.009, A.010 & A.011 - PIER ACCESS DEMO ELEVATIONS FOR ROOF DETAILS

INTERIOR DASHED LINE ADJACENT TO WALLS TO REPRESENT WALL FINISHES AND CEILING AREA FOR KEY NOTE IDENTIFICATION PURPOSES ONLY. CONTRACTOR TO VERIFY DIMENSIONS, HEIGHTS AND AREA INCLUDED IN THE SCOPE OF WORK PRIOR TO INITIATING DEMO WORK.

11|12 SEE SHEETS A.009, A.010 & A.011 - PIER ACCESS DEMO ELEVATIONS FOR ROOF DETAILS

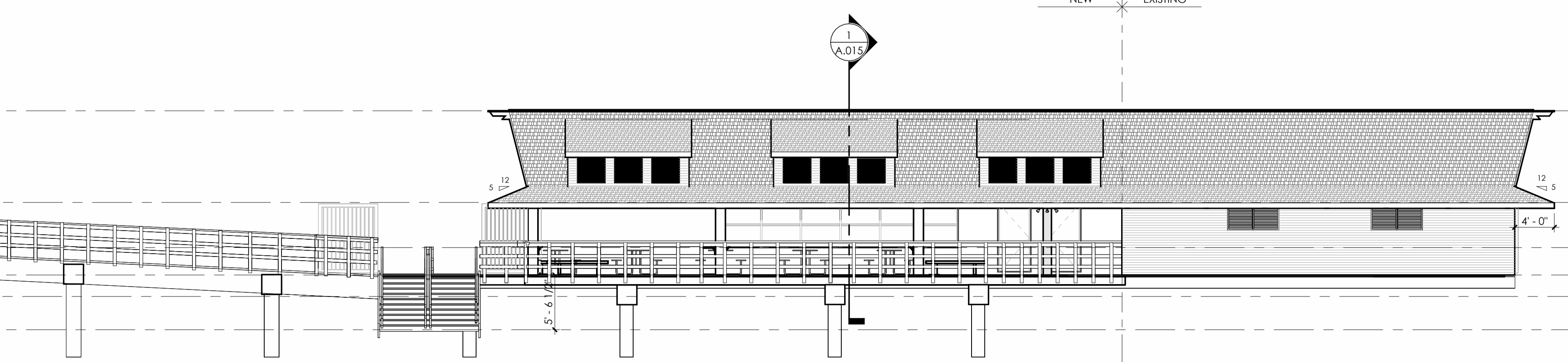
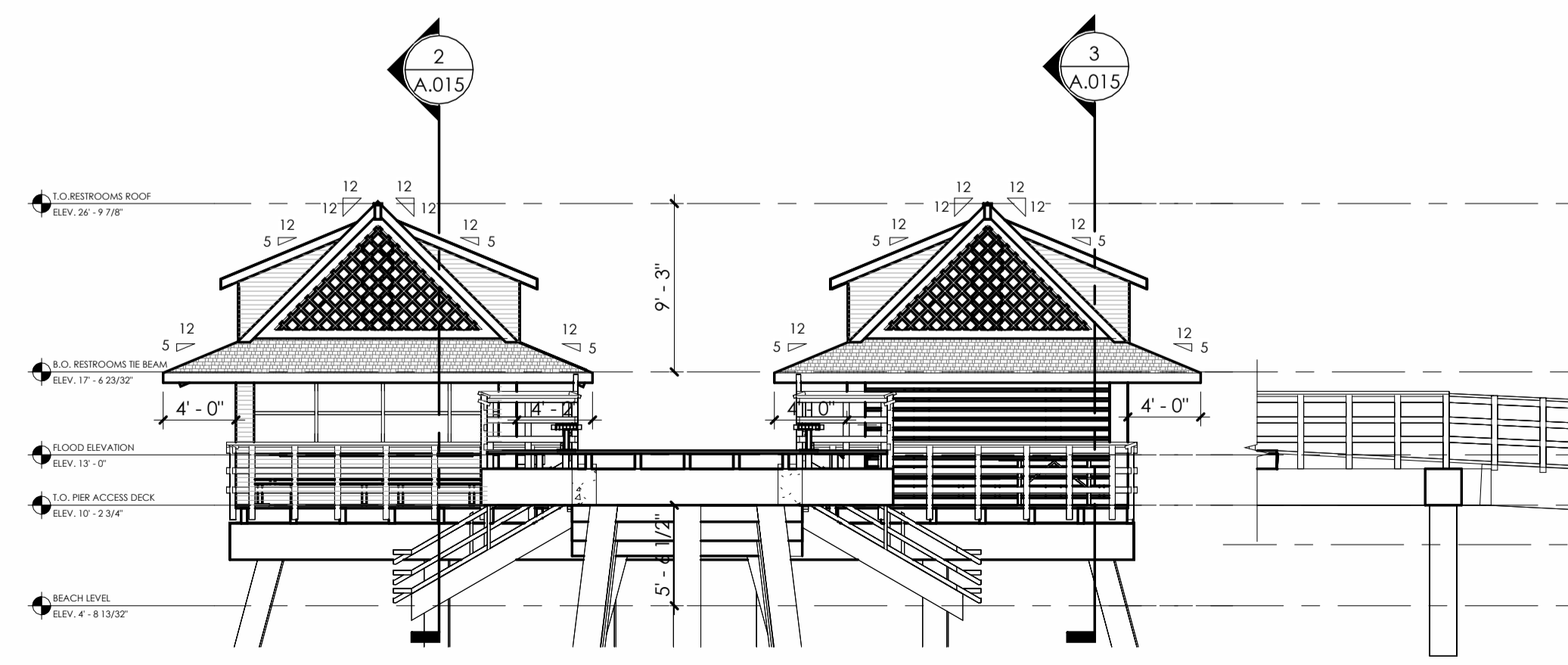
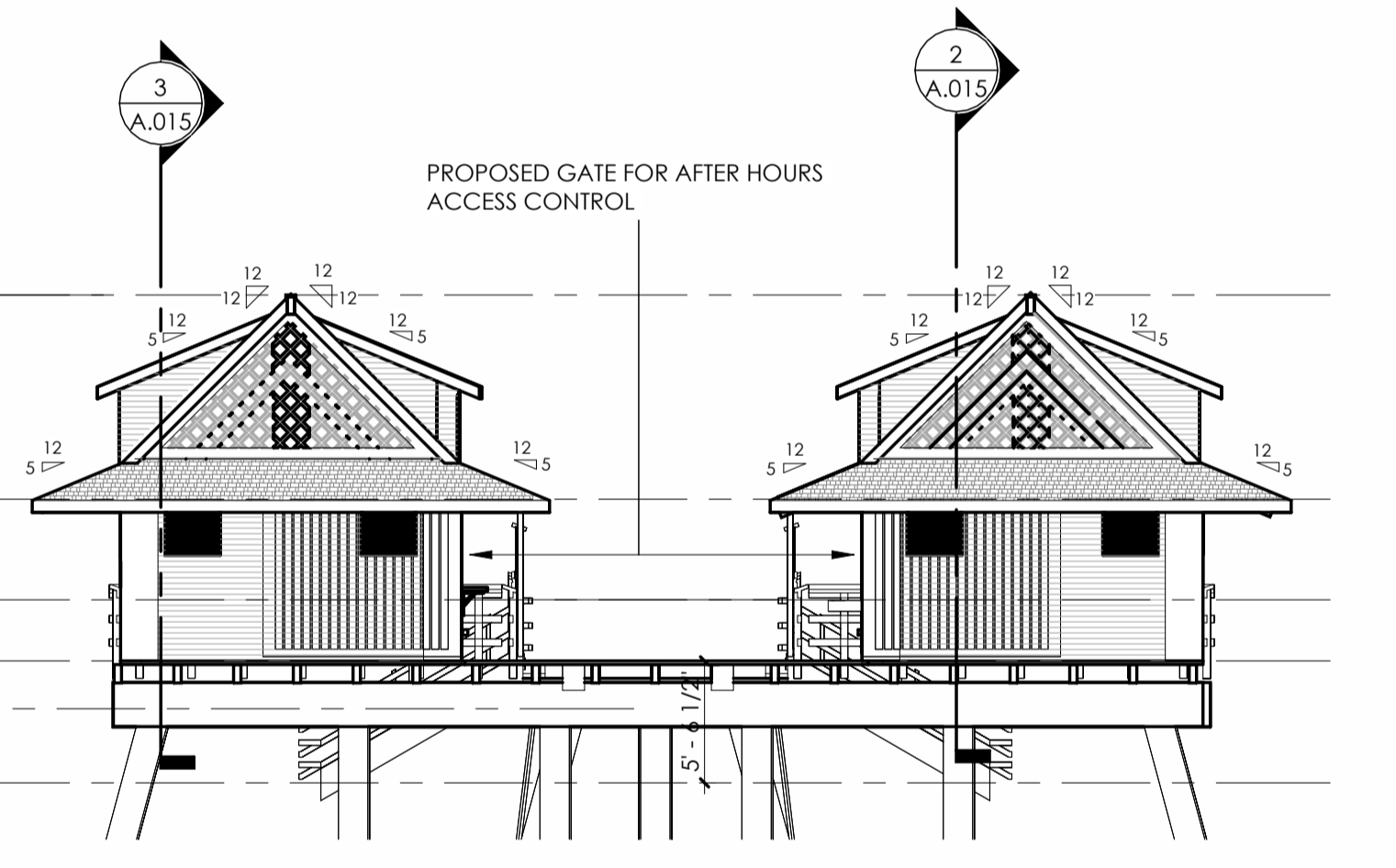
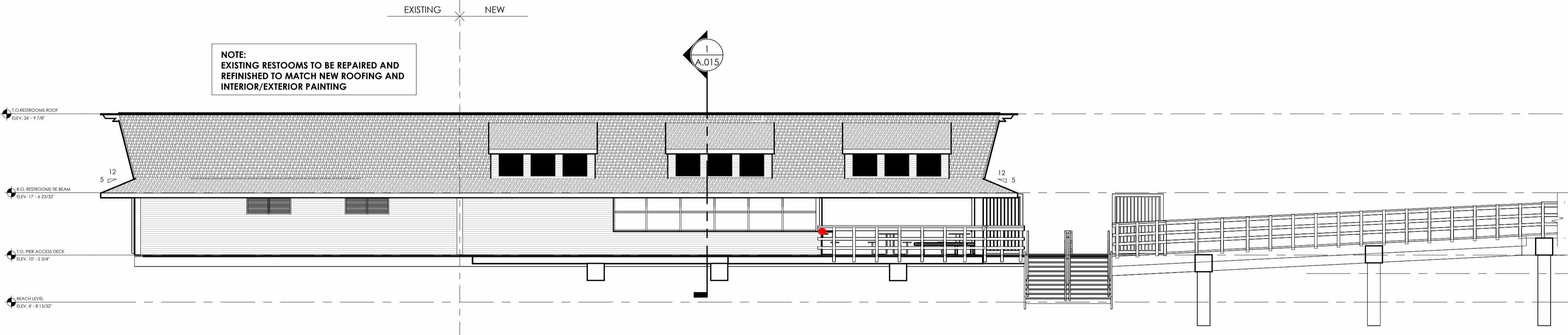
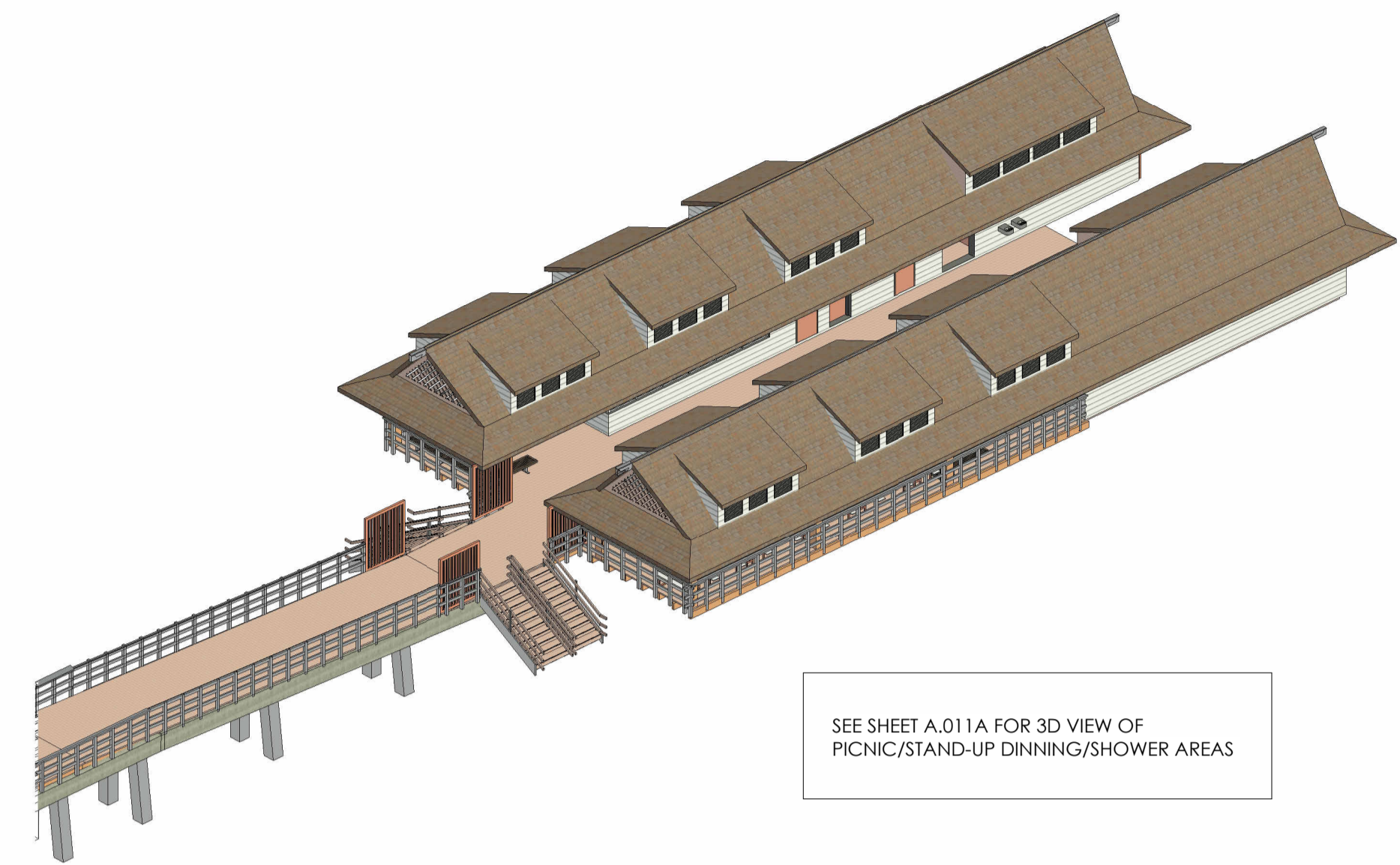
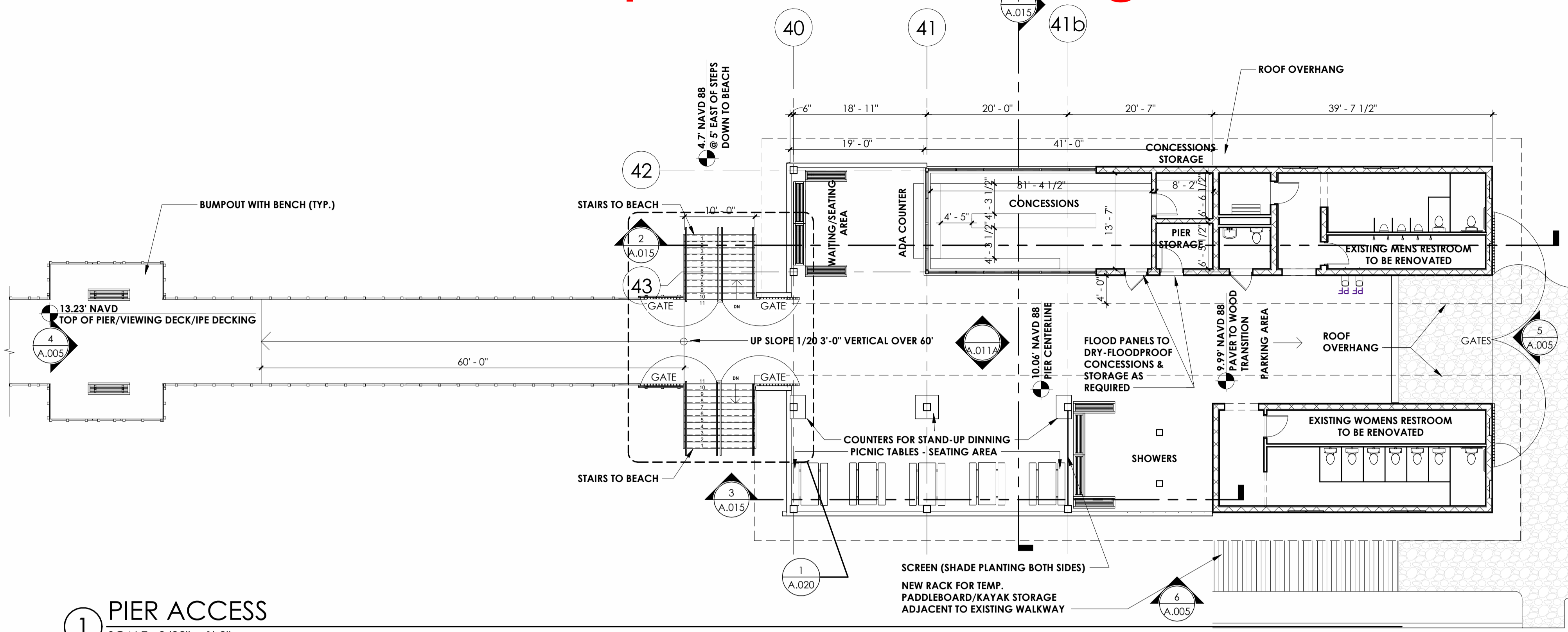
DEMOLITION PLAN NOTES

1. EXISTING WALL STRUCTURE TO REMAIN.
2. EXISTING WINDOWS AND DOORS TO REMAIN (U.O.N)
3. EXISTING FLOOD VENTS TO REMAIN.
4. EXISTING TOILET PARTITIONS TO REMAIN.
5. REMOVE FLOOR FINISHES COMPLETE. (T.B.D.)
6. REMOVE DOOR AND FRAME COMPLETE.
7. REMOVE INTERIOR WALL FINISHES COMPLETE. (T.B.D.)
8. REMOVE PLUMBING FIXTURES COMPLETE. (T.B.D.)
9. REMOVE CEILING AND ASSOCIATED ELECTRICAL/MECHANICAL FIXTURES COMPLETE. (T.B.D.)
10. REMOVE EXTERIOR SIDING COMPLETE. (T.B.D.)
11. REMOVE ROOF SHINGLES COMPLETE.
12. REMOVE ANY ROOFING UNDERLAYMENT, BLOCKING OR INSULATION WITH SIGNS OF DECAY OR DAMAGE, COVER EXPOSED SURFACE TO PROTECT ROOF STRUCTURE AND INTERIOR OF BUILDING FROM POTENTIAL DAMAGE DUE TO WEATHER EXPOSURE OR UNAUTHORIZED ACCESS.
13. REMOVE BATHROOM ACCESSORIES COMPLETE. (T.B.D.)



1 RESTROOMS DEMO PLAN
SCALE: 1/8" = 1'-0"

EXHIBIT A - 12A.2 Naples 30% Design Plan



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PIER ACCESS
FLOOR PLAN

PHASE CD
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A.005

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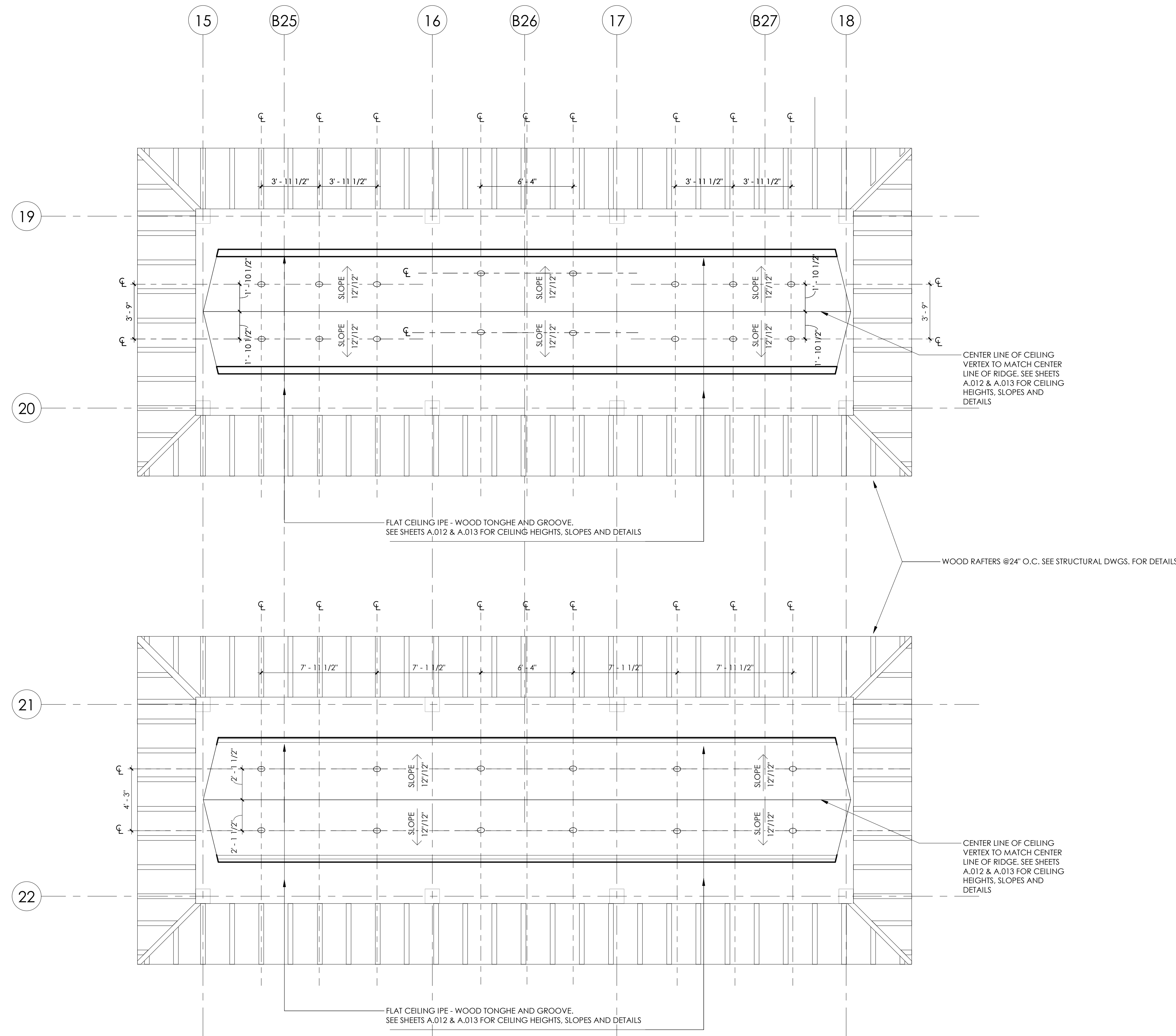
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REFLECTED
CEILING PLAN
MID-PAVILION

PHASE CD
PR NO 23118

A.006

RCP LEGEND	
	RECESSED LIGHT FIXTURE
	J BOX
	SURFACE MOUNT LIGHT FIXTURE - CEILING
	SURFACE MOUNT LIGHT FIXTURE - WALL
	SUSPENDED LIGHT FIXTURE
	EMERGENCY LIGHT FIXTURE
	ABOVE DOOR SURFACE MOUNTED WALL LIGHT
	ELECTRICAL PANEL
	RECESSED FLOOR OUTLET
	EXTERIOR SCONCE LIGHT FIXTURE
	UNDERCAB LIGHTING
*DIMENSIONS ARE TO CENTER LINE OF FIXTURE; U.N.O.	
*REFER TO ELECTRICAL FOR FIXTURE TYPES	



1 RCP - MID PAVILION
SCALE: 1/4" = 1'-0"

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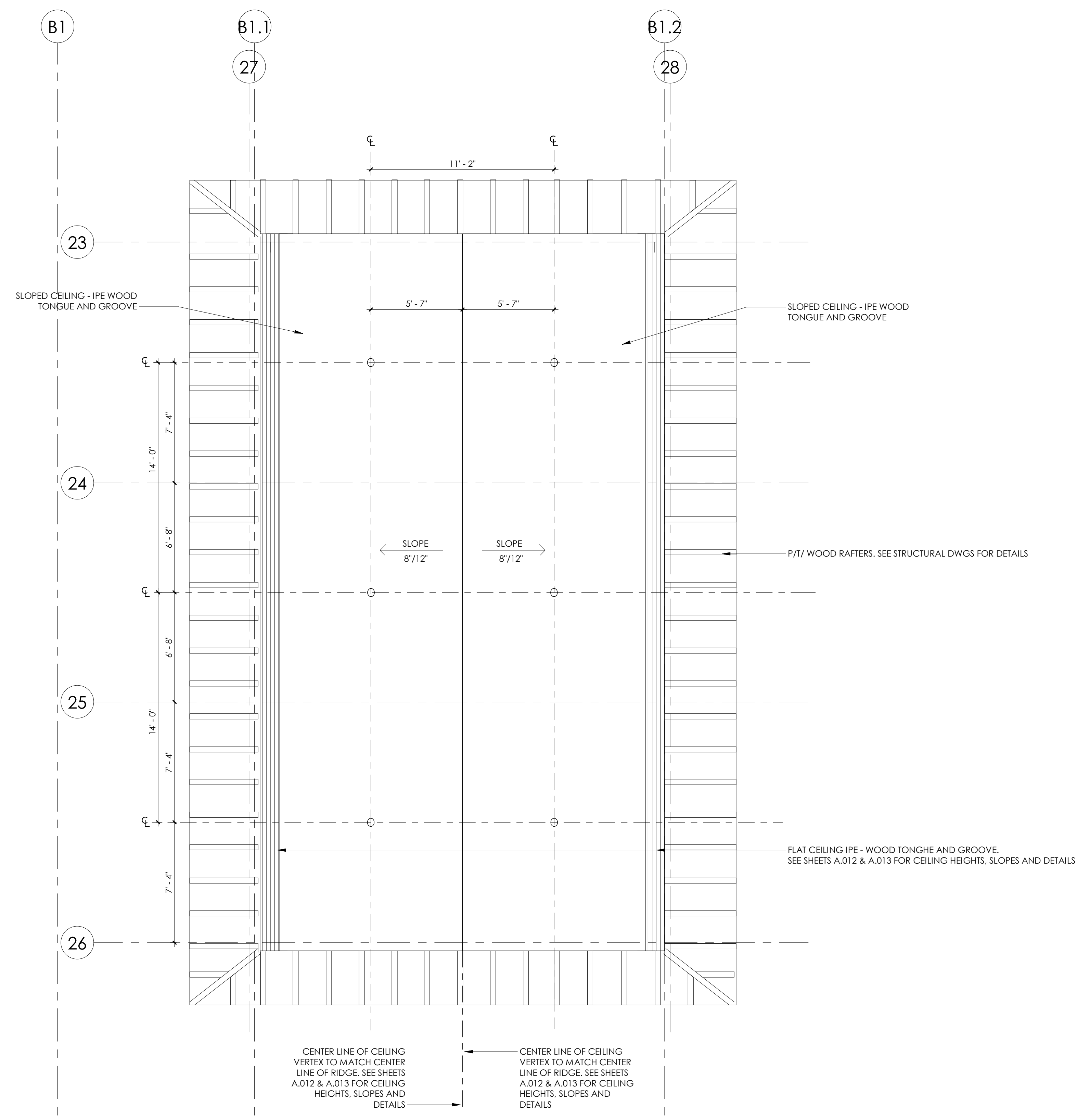
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REFLECTED
CEILING PLAN
END-PAVILION

PHASE CD
PR NO 23118

A.007

RCP LEGEND	
◆	RECESSED LIGHT FIXTURE
◇	J BOX
⊕	SURFACE MOUNT LIGHT FIXTURE - CEILING
⊖	SURFACE MOUNT LIGHT FIXTURE - WALL
—	SUSPENDED LIGHT FIXTURE
—	EMERGENCY LIGHT FIXTURE
■	ABOVE DOOR SURFACE MOUNTED WALL LIGHT
⊞	ELECTRICAL PANEL
○	RECESSED FLOOR OUTLET
⊕	EXTERIOR SCONCE LIGHT FIXTURE
—	UNDERCAB LIGHTING
*DIMENSIONS ARE TO CENTER LINE OF FIXTURE; U.N.O.	
*REFER TO ELECTRICAL FOR FIXTURE TYPES	



1 RCP - END PAVILION
SCALE: 1/4" = 1'-0"

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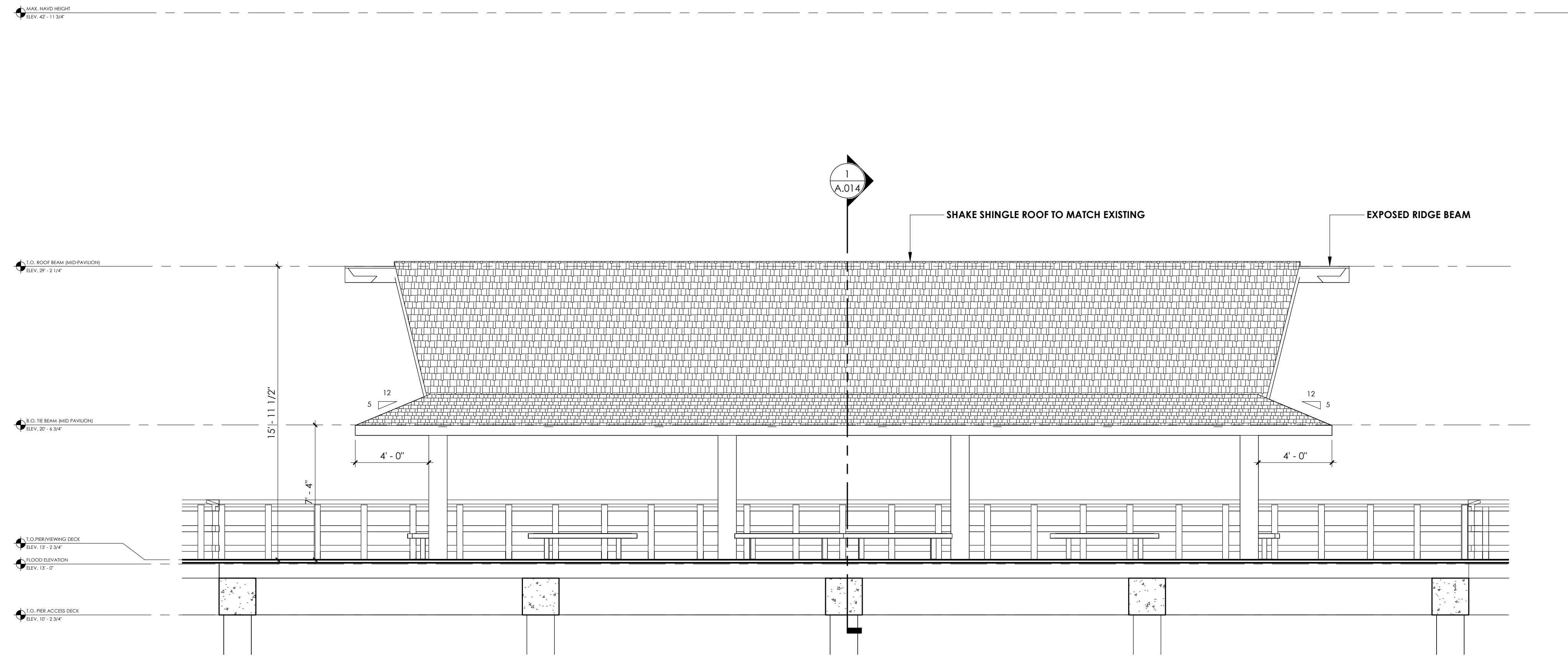
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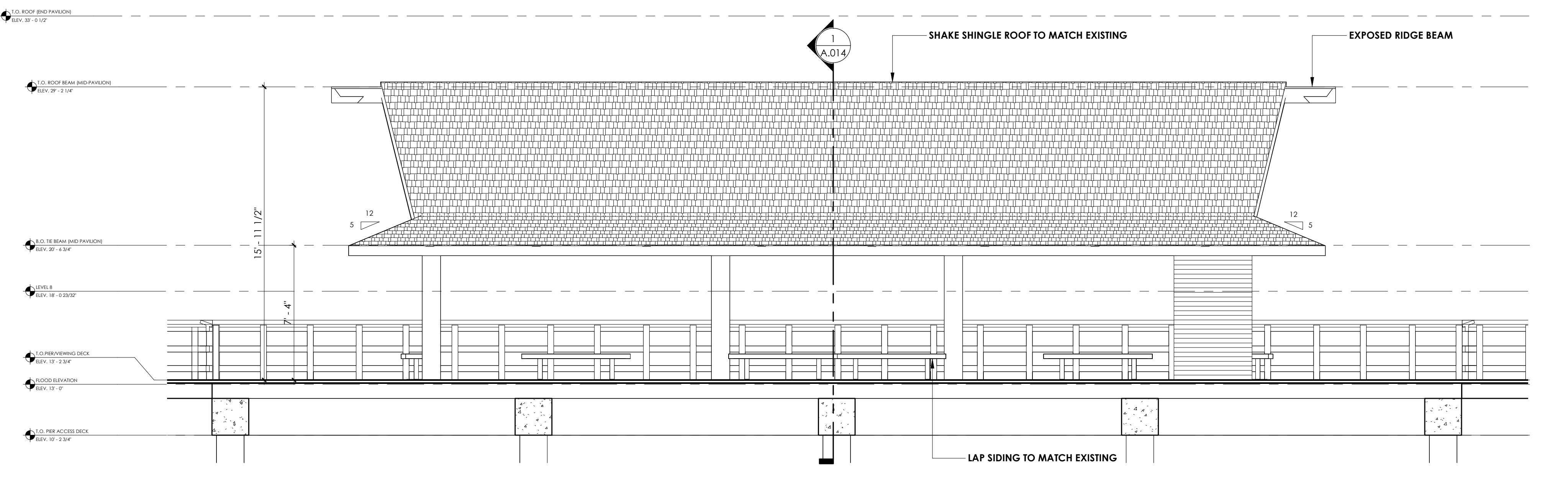
MID-PAVILION ELEVATIONS

PHASE CD
PR NO 23118

A.008



① MID PAVILION NORTH ELEVATION
SCALE: 1/4" = 1'-0"



② MID PAVILION SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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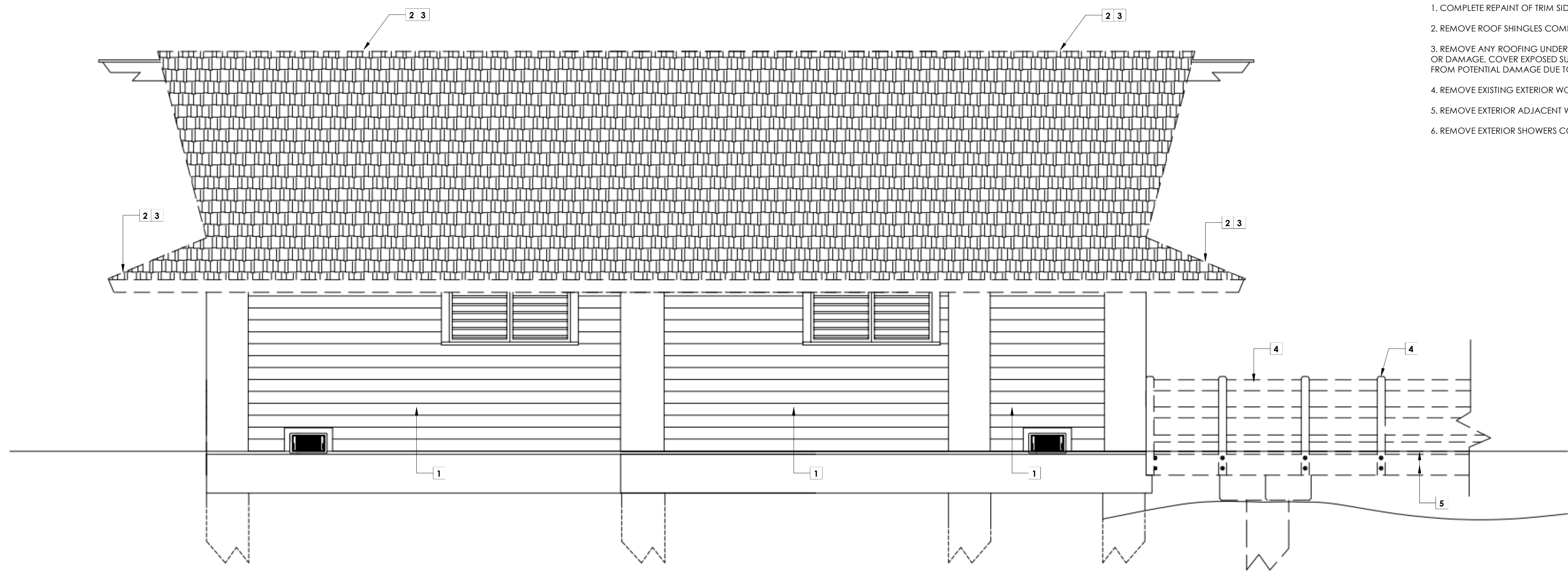
PIER ACCESS
DEMO -
ELEVATIONS

PHASE CD
PR NO 23118

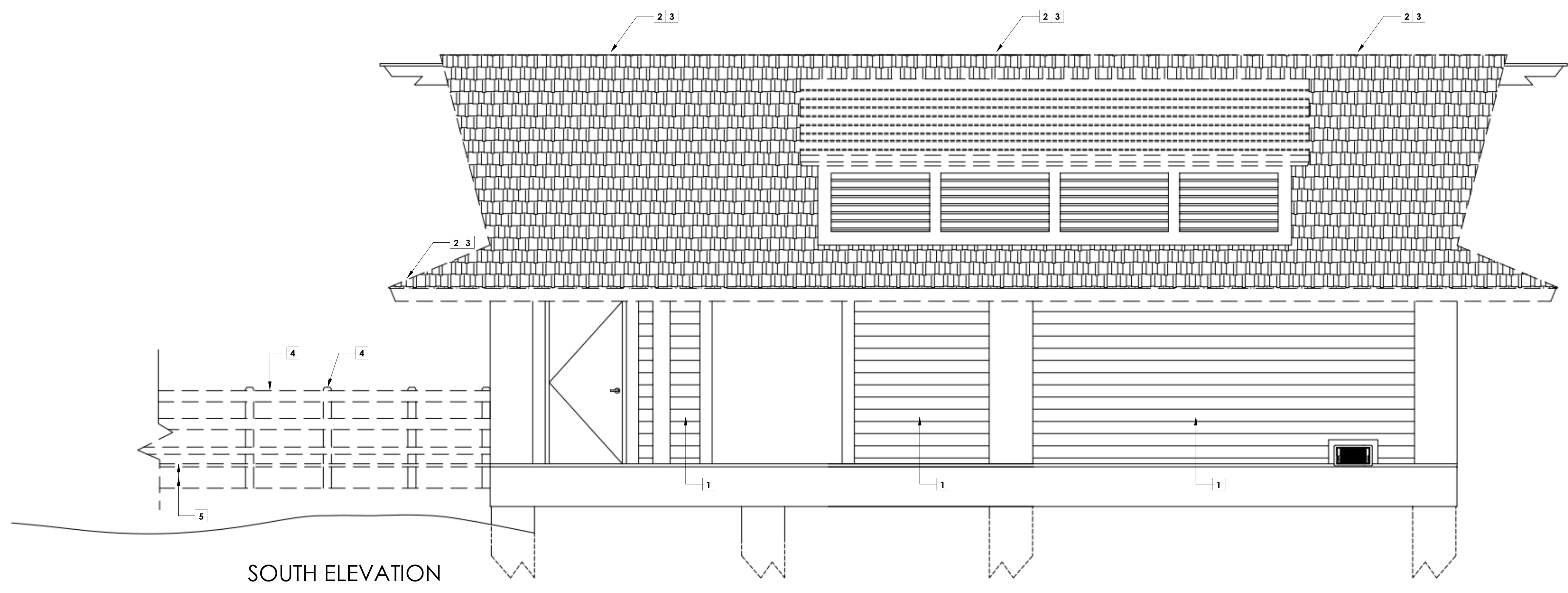
A.009

DEMOLITION ELEVATION NOTES

1. COMPLETE REPAINT OF TRIM SIDING.
2. REMOVE ROOF SHINGLES COMPLETE.
3. REMOVE ANY ROOFING UNDERLAYMENT, BLOCKING OR INSULATION WITH SIGNS OF DECAY OR DAMAGE. COVER EXPOSED SURFACE TO PROTECT ROOF STRUCTURE AND INTERIOR OF BUILDING FROM POTENTIAL DAMAGE DUE TO WEATHER EXPOSURE OR UNAUTHORIZED ACCESS.
4. REMOVE EXISTING EXTERIOR WOODEN POST AND RAILING COMPLETE.
5. REMOVE EXTERIOR ADJACENT WOOD DECK AND PILE CAP COMPLETE.
6. REMOVE EXTERIOR SHOWERS COMPLETE / EXISTING TO BE REUSED OVER NEW DECKING. (I.B.D.)



NORTH ELEVATION



SOUTH ELEVATION

1 MENS RESTROOMS - NORTH & SOUTH ELEVATIONS / DEMO
SCALE: 1/8" = 1'-0"

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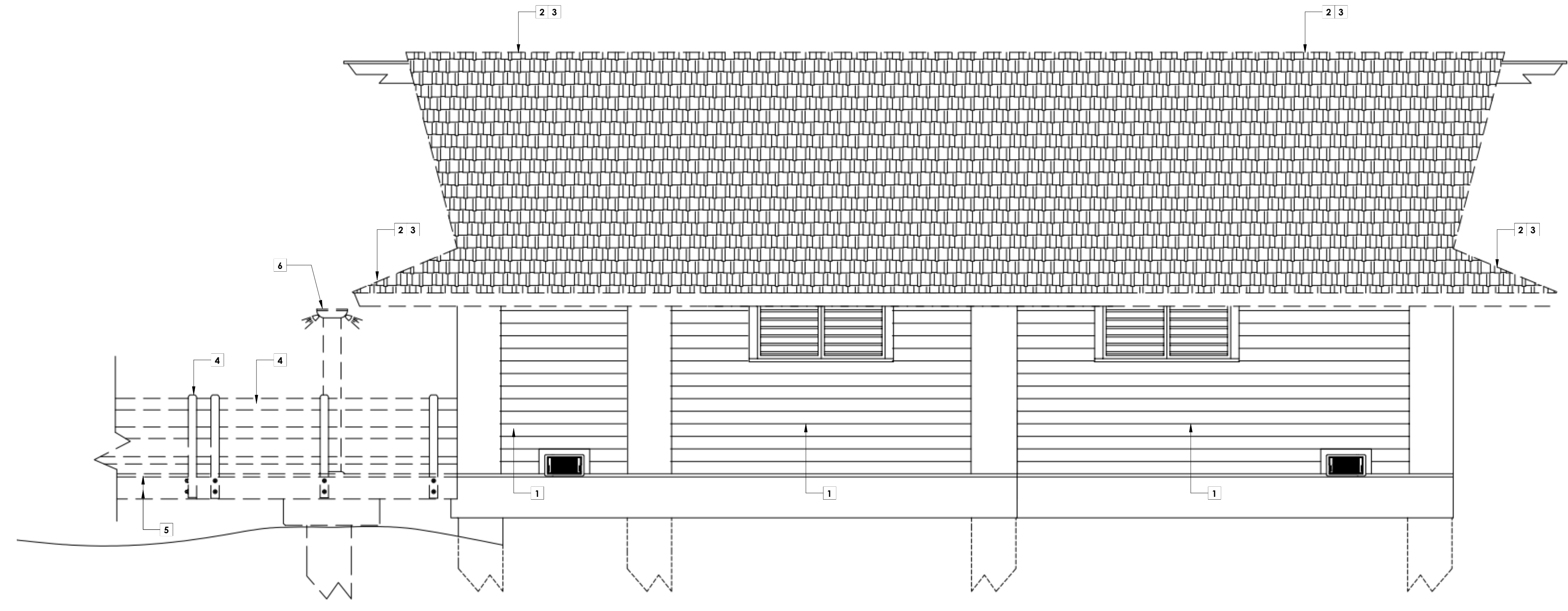
PIER ACCESS
DEMO -
ELEVATIONS

PHASE CD
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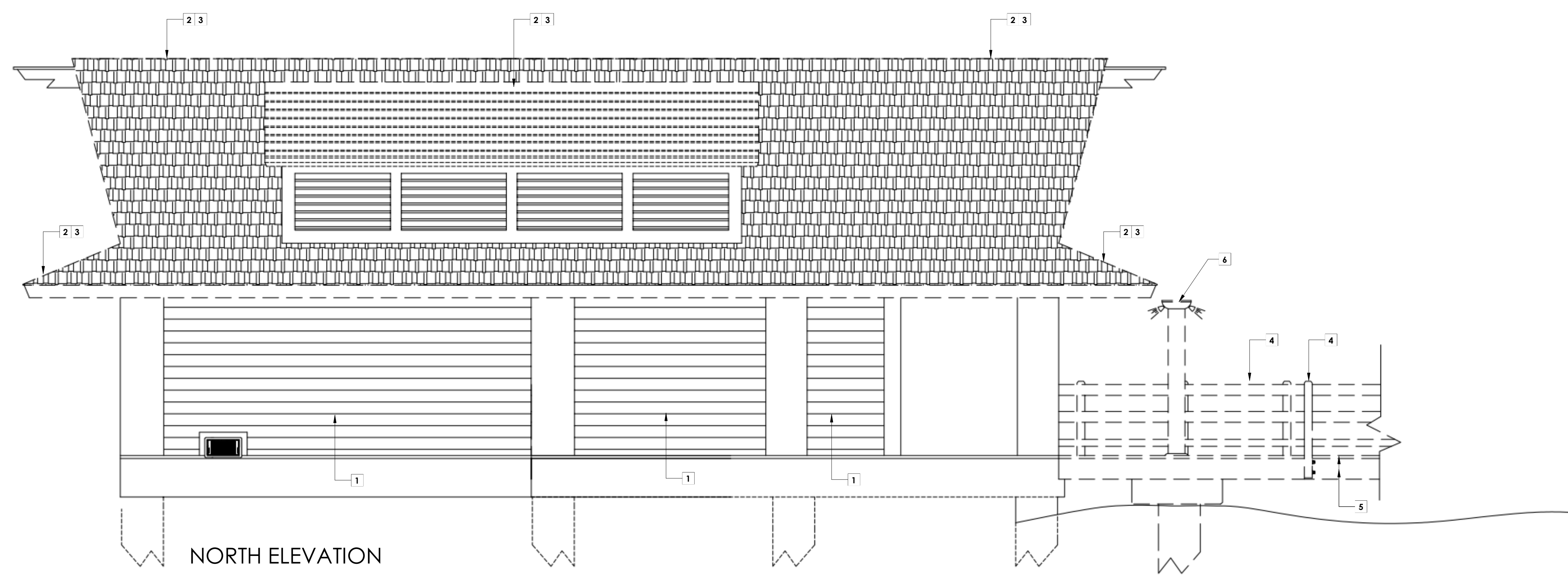
A.010

DEMOLITION ELEVATION NOTES

1. COMPLETE REPAINT OF TRIM SIDING.
2. REMOVE ROOF SHINGLES COMPLETE.
3. REMOVE ANY ROOFING UNDERLAYMENT, BLOCKING OR INSULATION WITH SIGNS OF DECAY OR DAMAGE. COVER EXPOSED SURFACE TO PROTECT ROOF STRUCTURE AND INTERIOR OF BUILDING FROM POTENTIAL DAMAGE DUE TO WEATHER EXPOSURE OR UNAUTHORIZED ACCESS.
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6. REMOVE EXTERIOR SHOWERS COMPLETE / EXISTING TO BE REUSED OVER NEW DECKING. (I.B.D.)



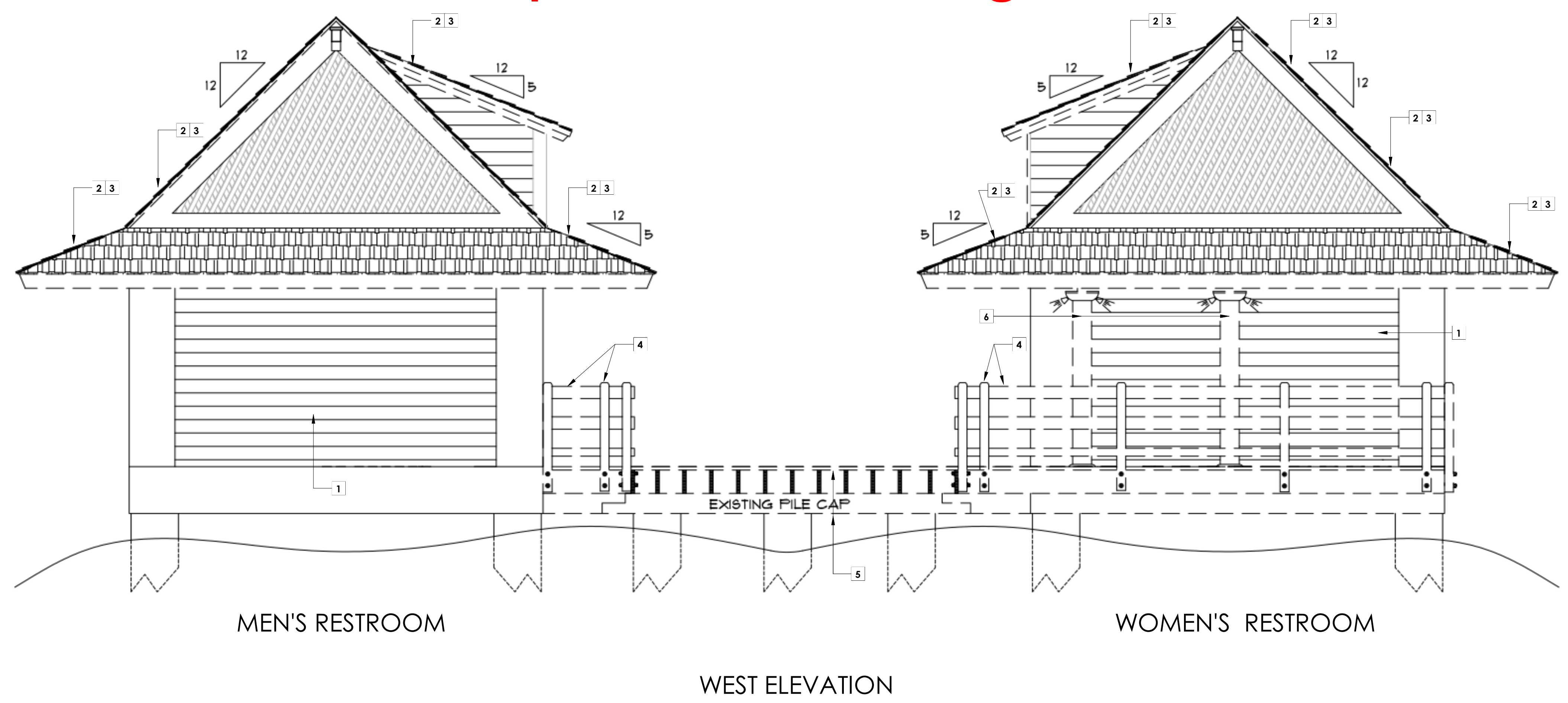
SOUTH ELEVATION



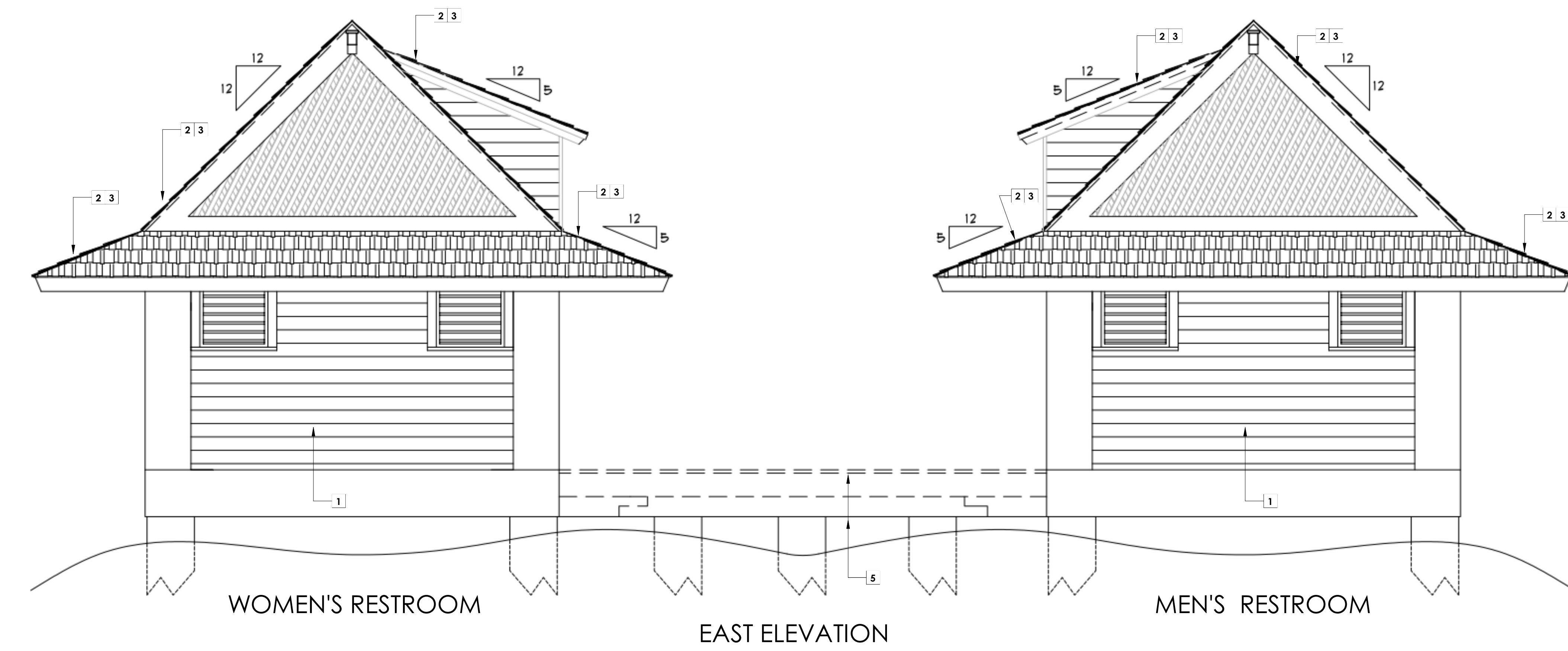
NORTH ELEVATION

1 WOMENS RESTROOMS - NORTH & SOUTH ELEVATIONS / DEMO
SCALE: 1/8" = 1'-0"

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- DEMOLITION ELEVATION NOTES**
1. COMPLETE REPAINT OF TRIM SIDING.
 2. REMOVE ROOF SHINGLES COMPLETE.
 3. REMOVE ANY ROOFING UNDERLAYMENT, BLOCKING OR INSULATION WITH SIGNS OF DECAY OR DAMAGE. COVER EXPOSED SURFACE TO PROTECT ROOF STRUCTURE AND INTERIOR OF BUILDING FROM POTENTIAL DAMAGE DUE TO WEATHER EXPOSURE OR UNAUTHORIZED ACCESS.
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 5. REMOVE EXTERIOR ADJACENT WOOD DECK AND PILE CAP COMPLETE.
 6. REMOVE EXTERIOR SHOWERS COMPLETE / EXISTING TO BE REUSED OVER NEW DECKING. (I.B.D.)



1 WOMEN/MEN RESTROOMS - WEST & EAST ELEVATIONS / DEMO
SCALE: 1/8" = 1'-0"

MAR
ARCHITECTURE

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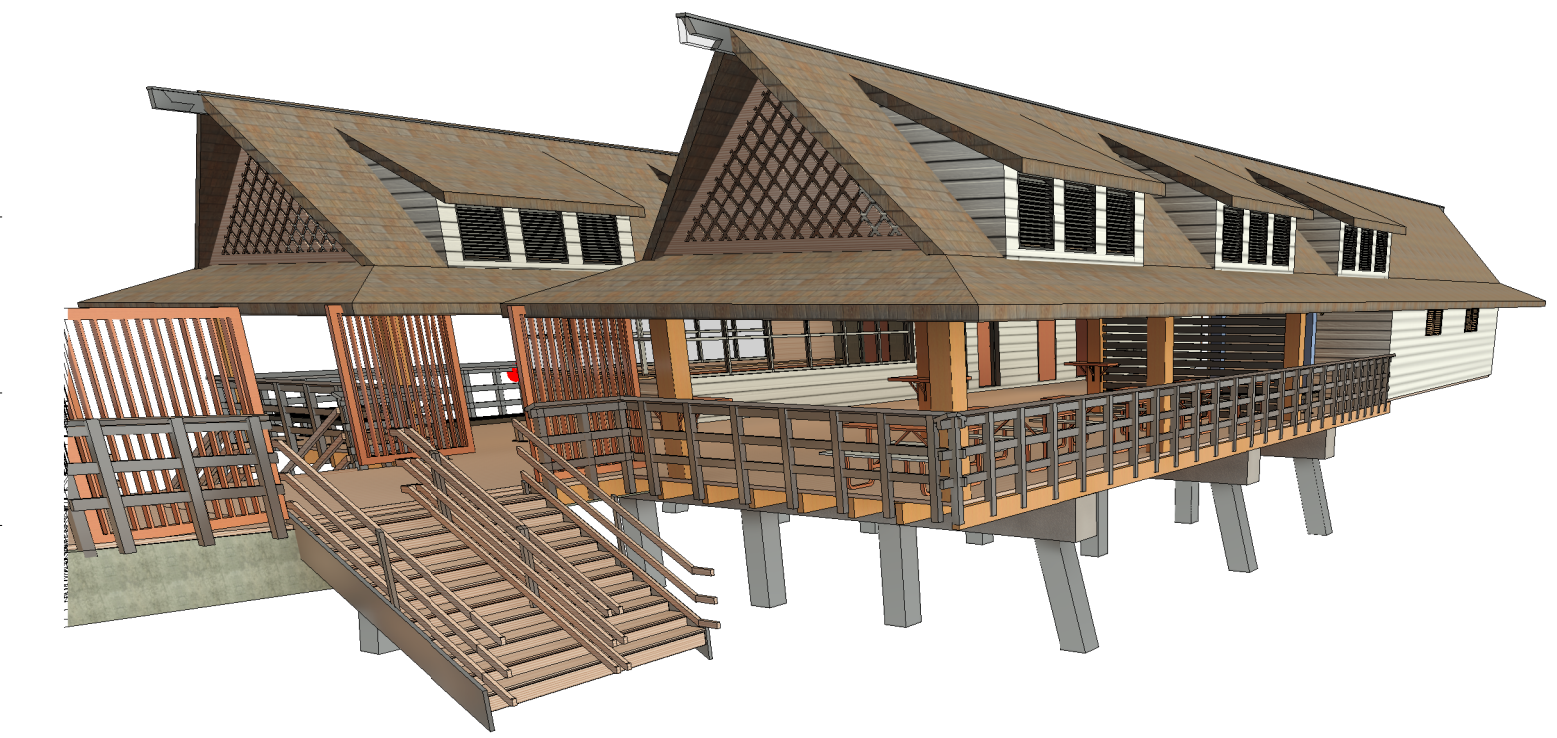
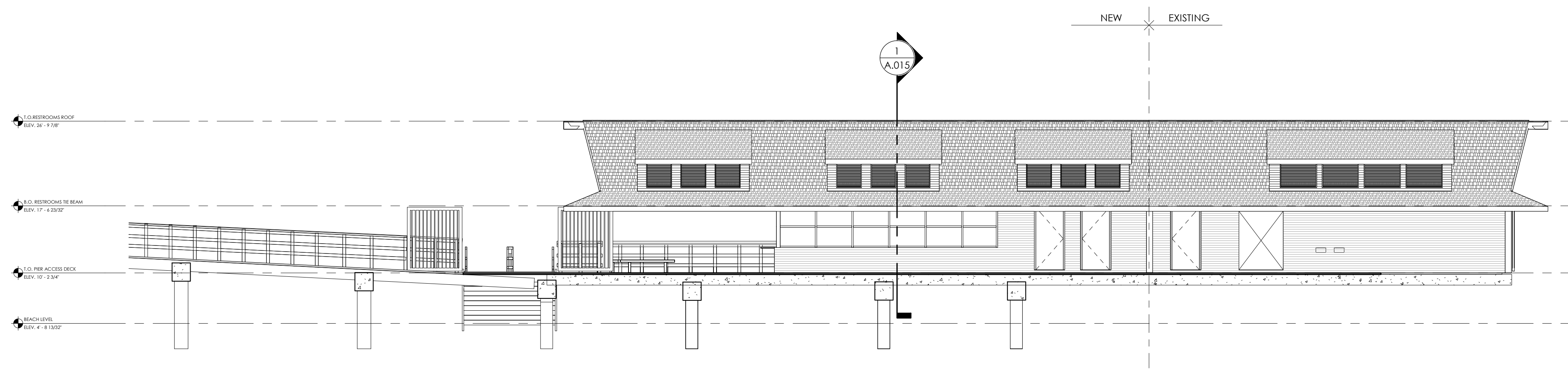
PIER ACCESS
DEMO -
ELEVATIONS

PHASE CD
PR NO 23118

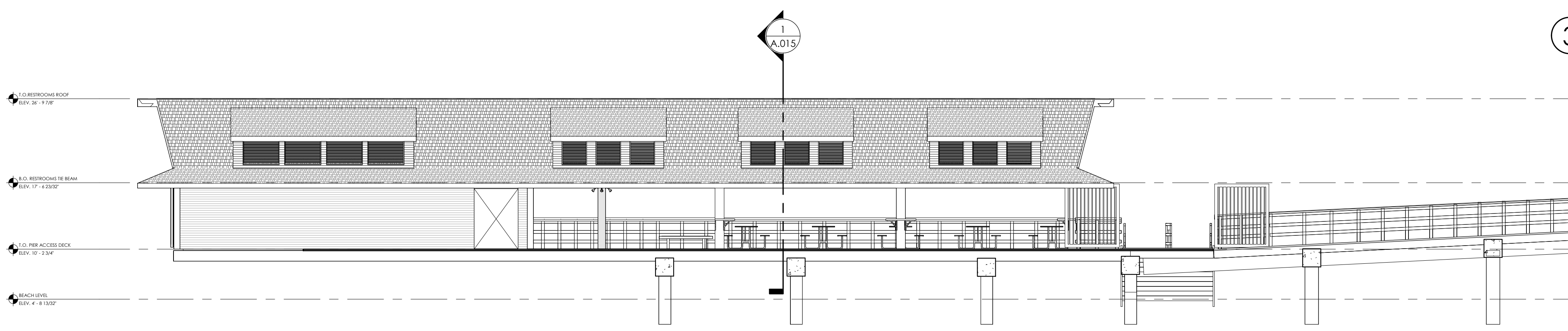
A.011

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1 PARTIAL SOUTH ELEVATION - CONCESSIONS
SCALE: 1/8" = 1'-0"



3 3D VIEW- CONCESSIONS/PICNIC/SHOWER AREAS
SCALE:

2 PARTIAL NORTH ELEVATION - SHOWERS/SEATING AREA
SCALE: 1/8" = 1'-0"

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PIER ACCESS ELEVATIONS

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A.011A

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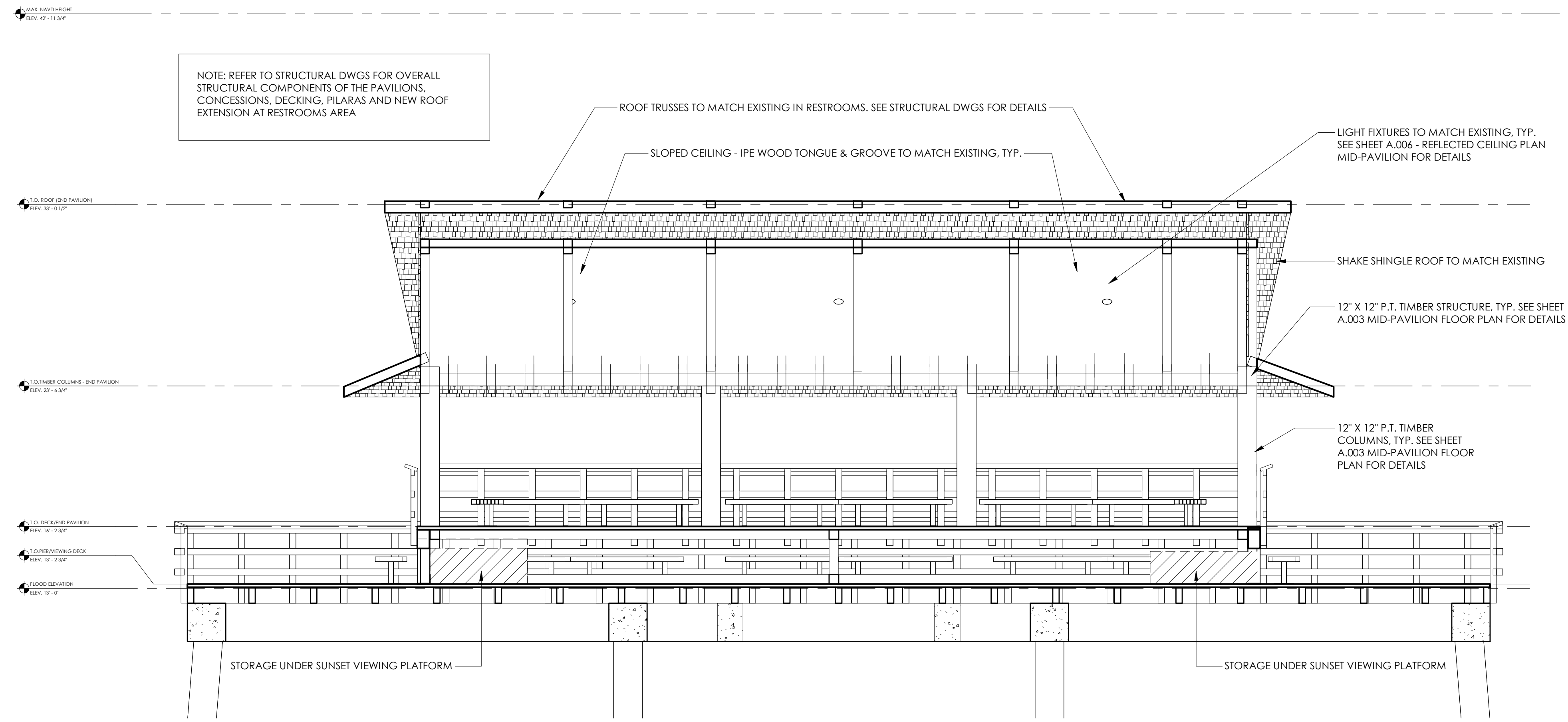
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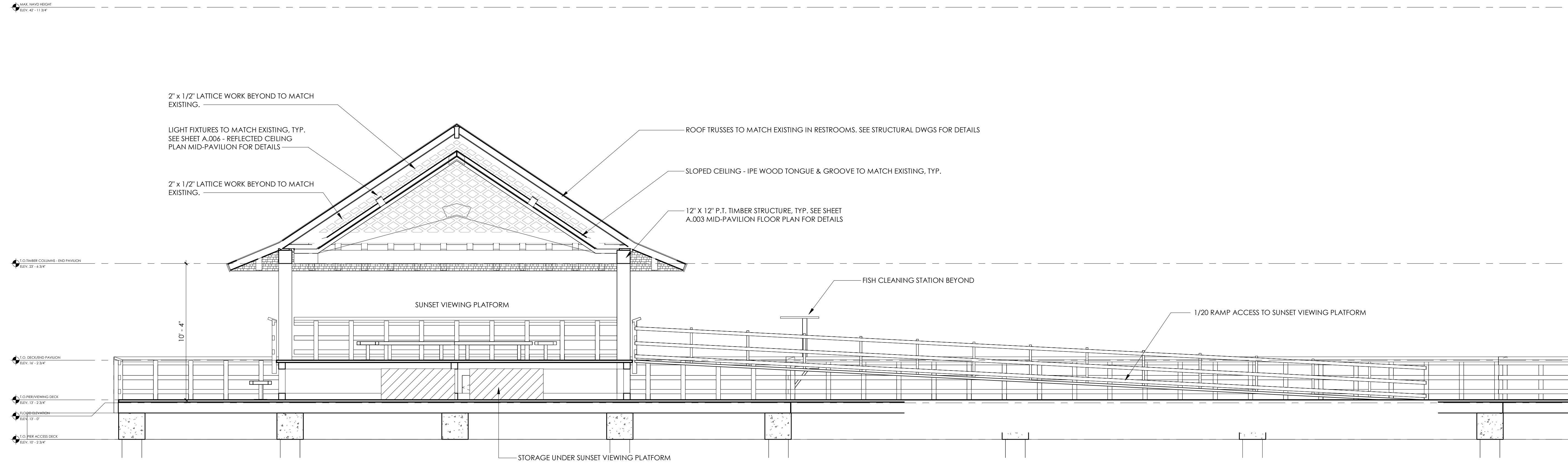
END PAVILION SECTIONS

PHASE CD
PR NO 23118

A.012



1 TRANSVERSE SECTION #2 - END PAVILION
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION #2 - END PAVILION
SCALE: 1/4" = 1'-0"

8/7/2023 2:57:01 PM

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END PAVILION SECTIONS

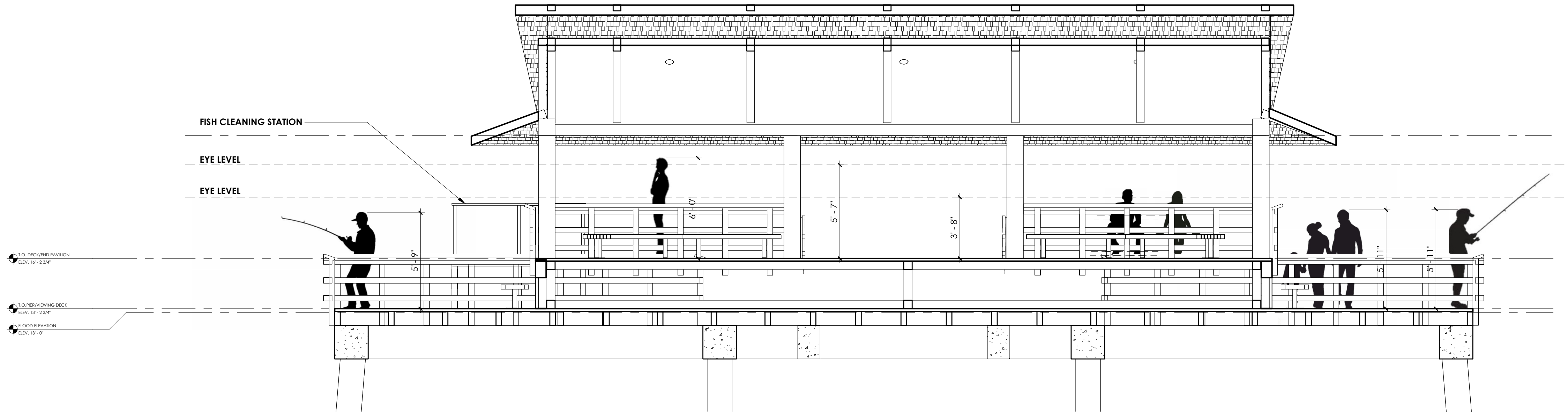
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A.013

MAK NAVD HEIGHT
REV. 42 - 11/24

NOTE: SECTION VIEW TO ILLUSTRATE PLATFORM HEIGHTS AND APPROX. LINE OF SIGHT IN RELATION TO INTENDED ACTIVITIES AT EACH DECK LEVEL.

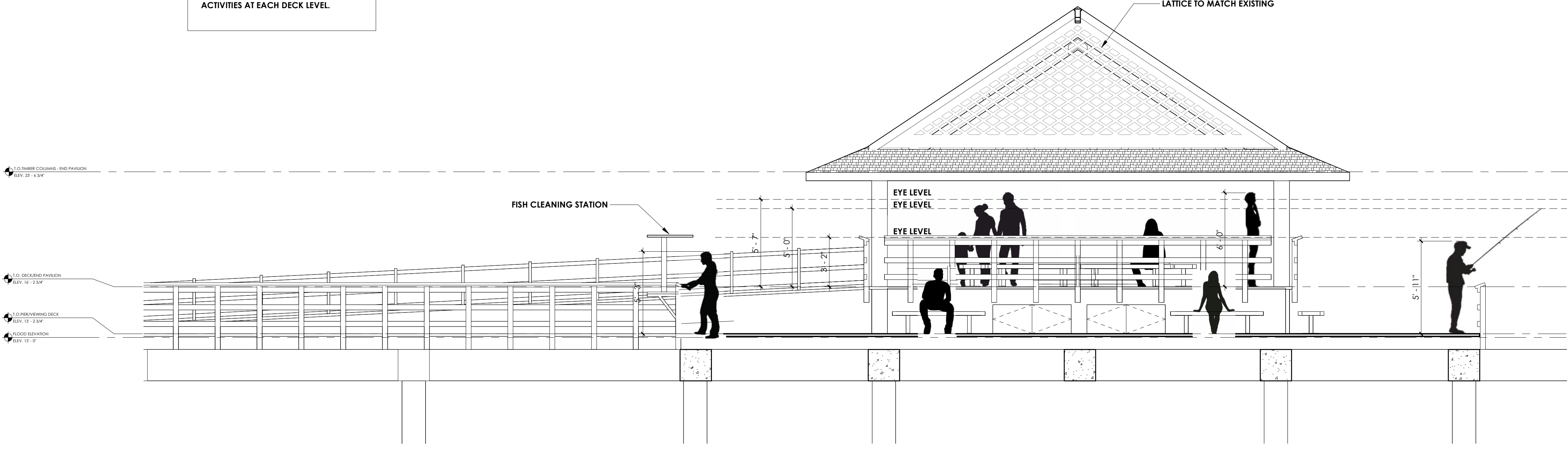
NOTE: REFER TO STRUCTURAL DWGS FOR OVERALL STRUCTURAL COMPONENTS OF THE PAVILIONS, CONCESSIONS, DECKING, PILARAS AND NEW ROOF EXTENSION AT RESTROOMS AREA



1 TRANSVERSE SECTION #1 - END PAVILION
SCALE: 1/4" = 1'-0"

MAK NAVD HEIGHT
REV. 42 - 11/24

NOTE: SECTION VIEW TO ILLUSTRATE PLATFORM HEIGHTS AND APPROX. LINE OF SIGHT IN RELATION TO INTENDED ACTIVITIES AT EACH DECK LEVEL.



2 LONGITUDINAL SECTION #1 - END PAVILION
SCALE: 1/4" = 1'-0"

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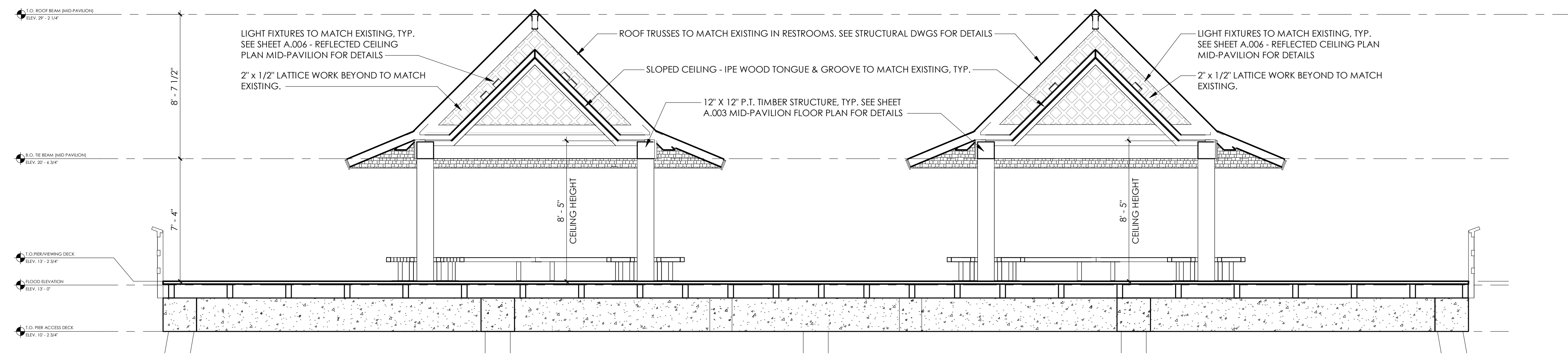
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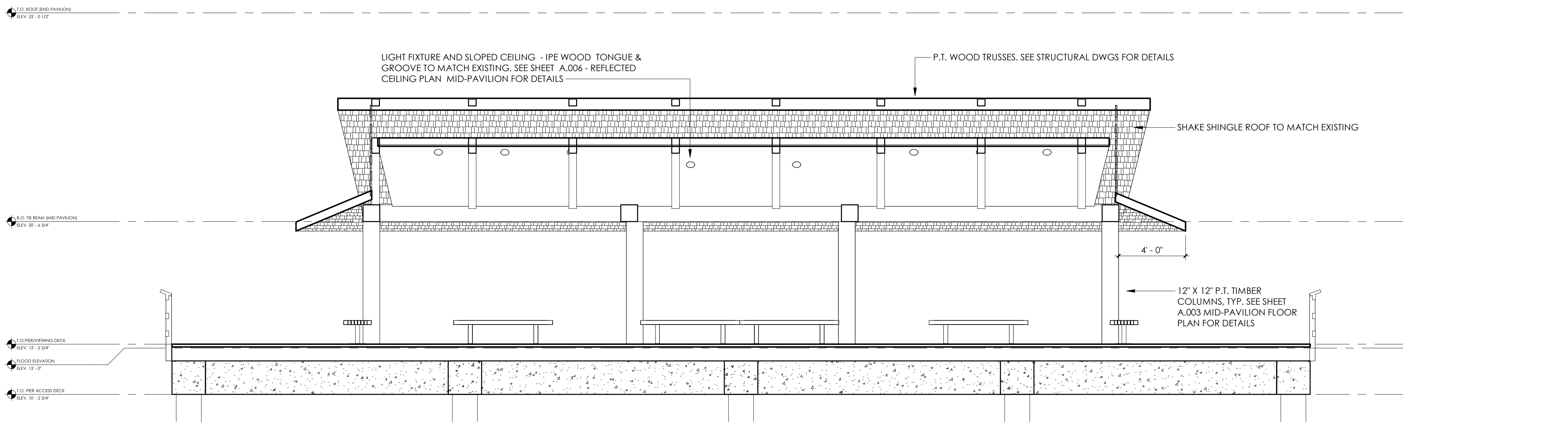
MID PAVILION SECTIONS

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PR NO 23118

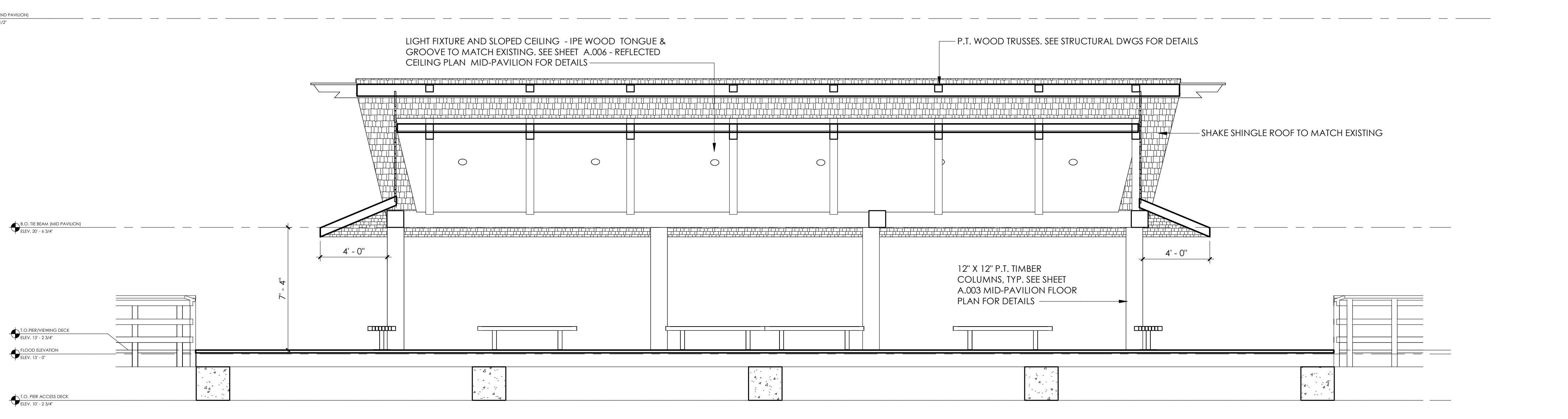
A.014



1 TRANSVERSE SECTION #1 - MID PAVILION
SCALE: 1/4" = 1'-0"



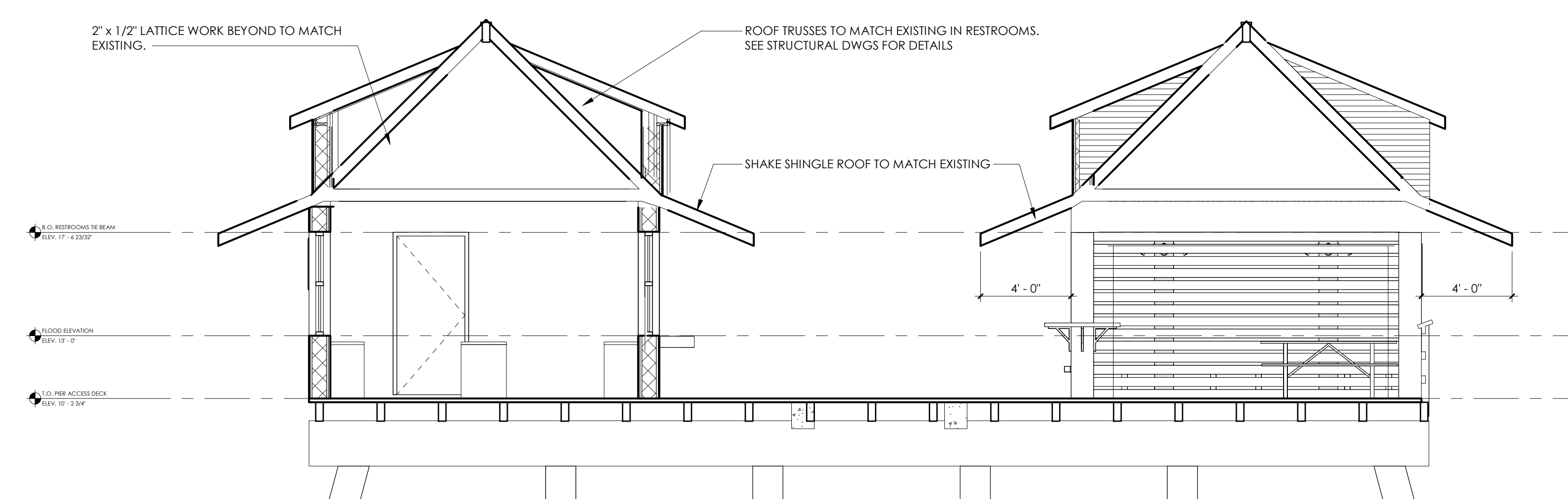
2 LONGITUDINAL SECTION #1 - MID PAVILION
SCALE: 1/4" = 1'-0"



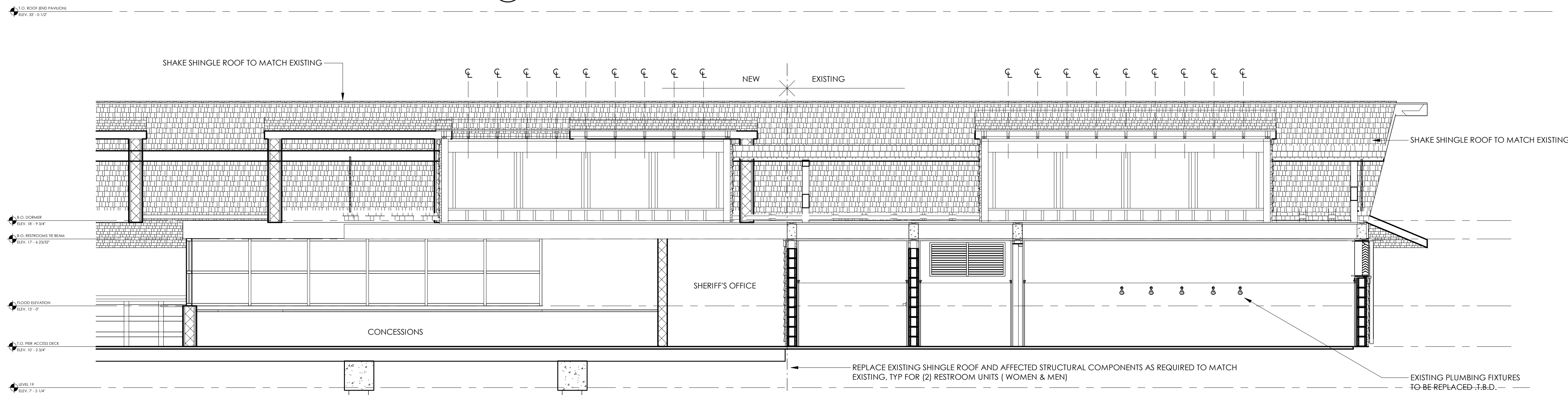
3 LONGITUDINAL SECTION #2 - MID PAVILION
SCALE: 1/4" = 1'-0"

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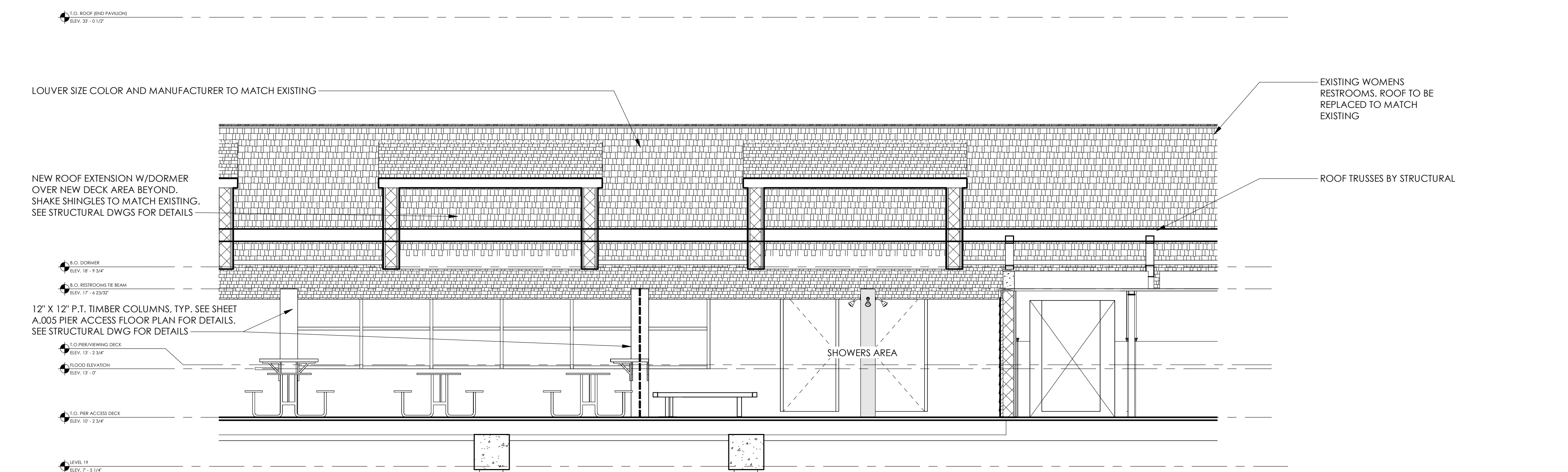
NOTE: REFER TO STRUCTURAL DWGS FOR ROOF TRUSSES, RAFTERS, SPACING AND OVERALL STRUCTURAL COMPONENTS OF THE PAVILIONS, CONCESSIONS AND NEW ROOF EXTENSION AT RESTROOMS AREA



1 TRANSVERSE SECTION #1 - PIER ACCESS
SCALE: 1/4" = 1'-0"



2 LONGITUDINAL SECTION #1 - MENS RESTROOMS / PIER ACCESS
SCALE: 1/4" = 1'-0"

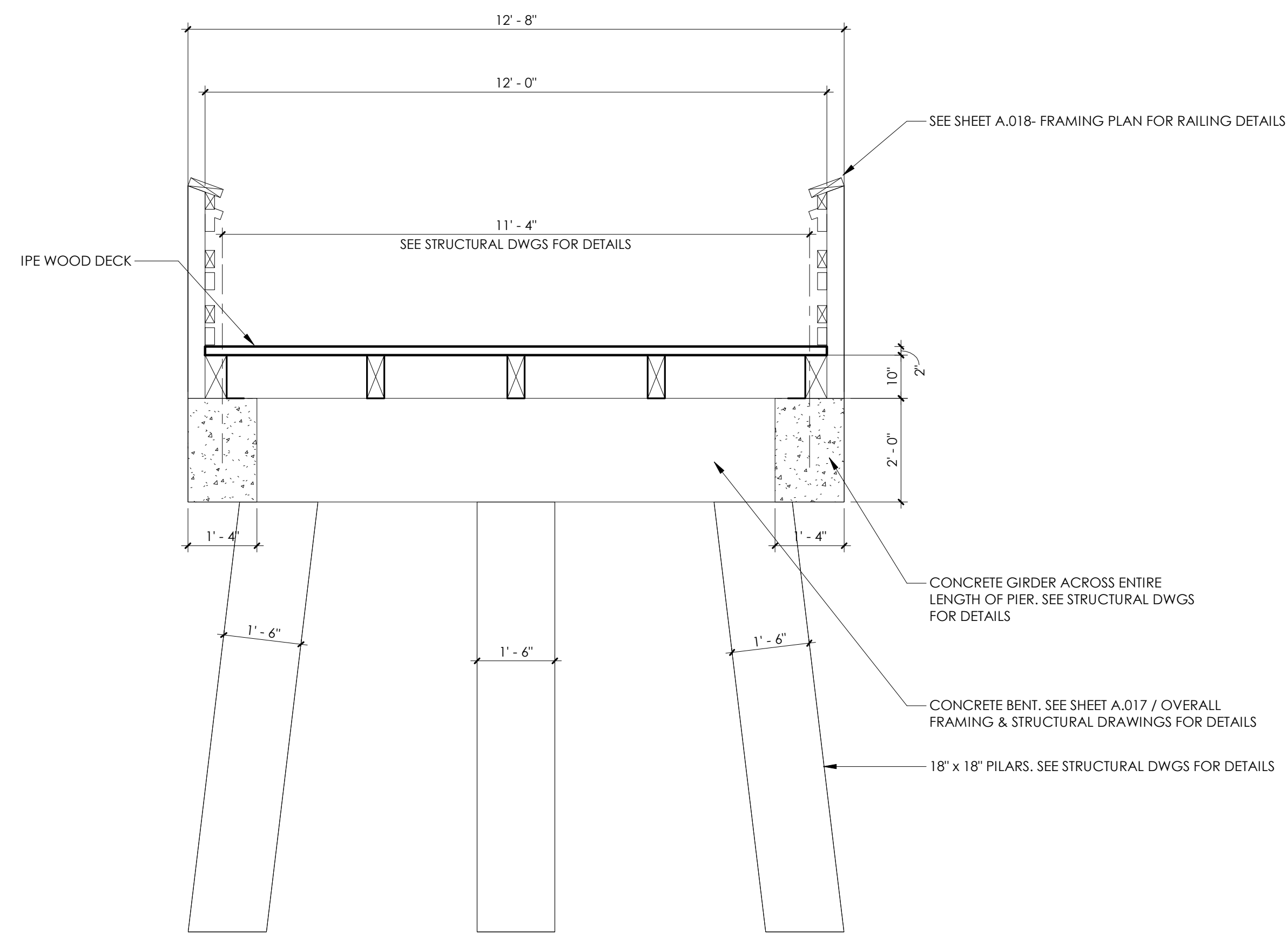


3 LONGITUDINAL SECTION #2 - SHOWER AREA / PIER ACCESS
SCALE: 1/4" = 1'-0"

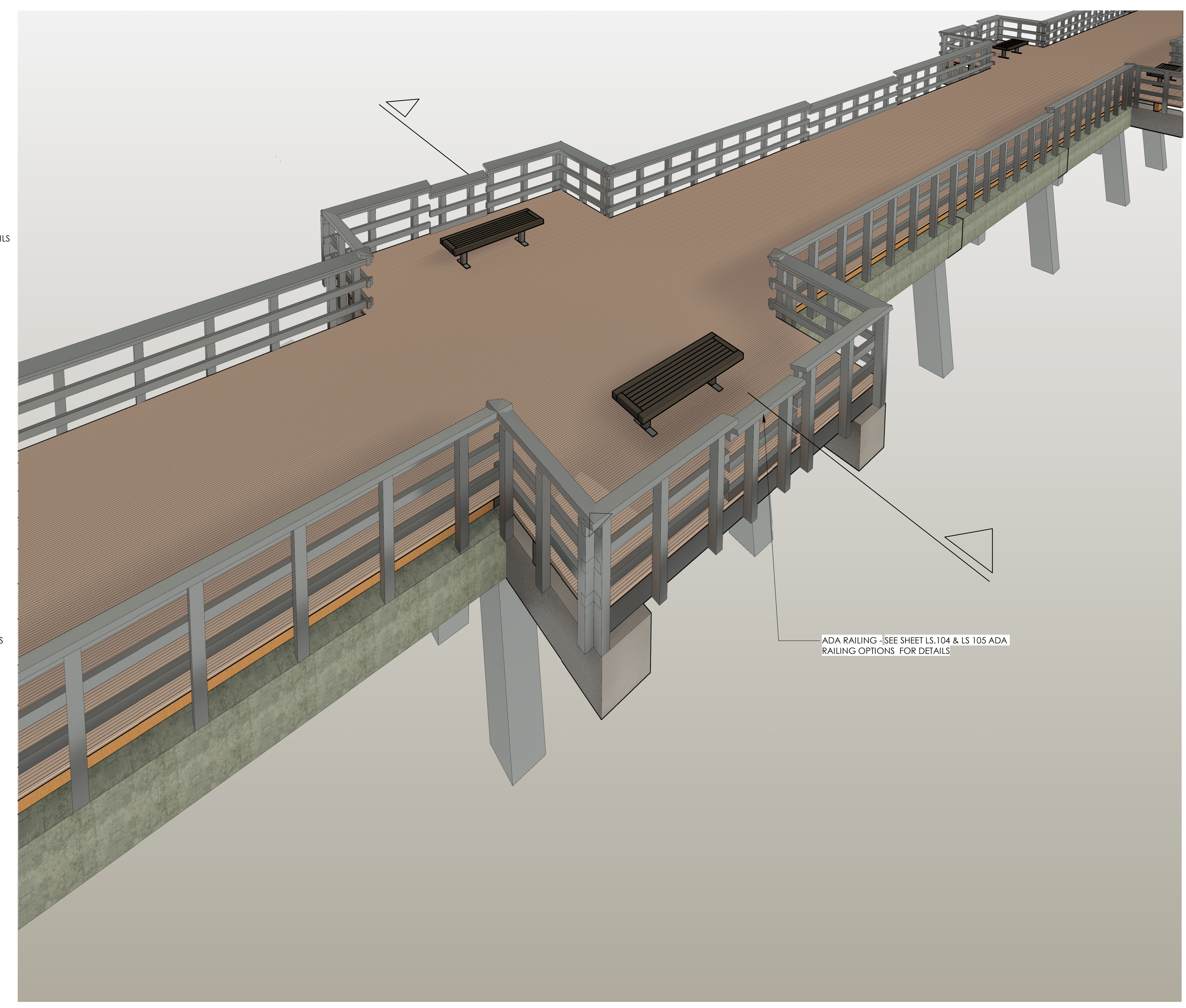
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2 BOARDWALK SECTION - DETAIL
SCALE: 1/2" = 1'-0"



3 3D VIEW - BOARDWALK AND SEATING AREA
SCALE:

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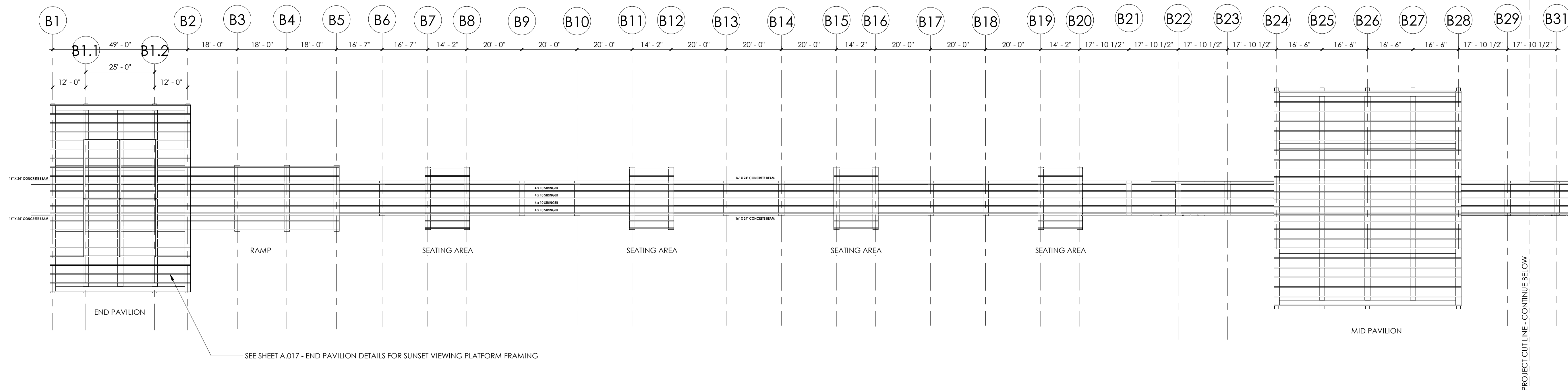
SEATING
AREA
SECTION

PHASE CD
PR NO 23118

A.016

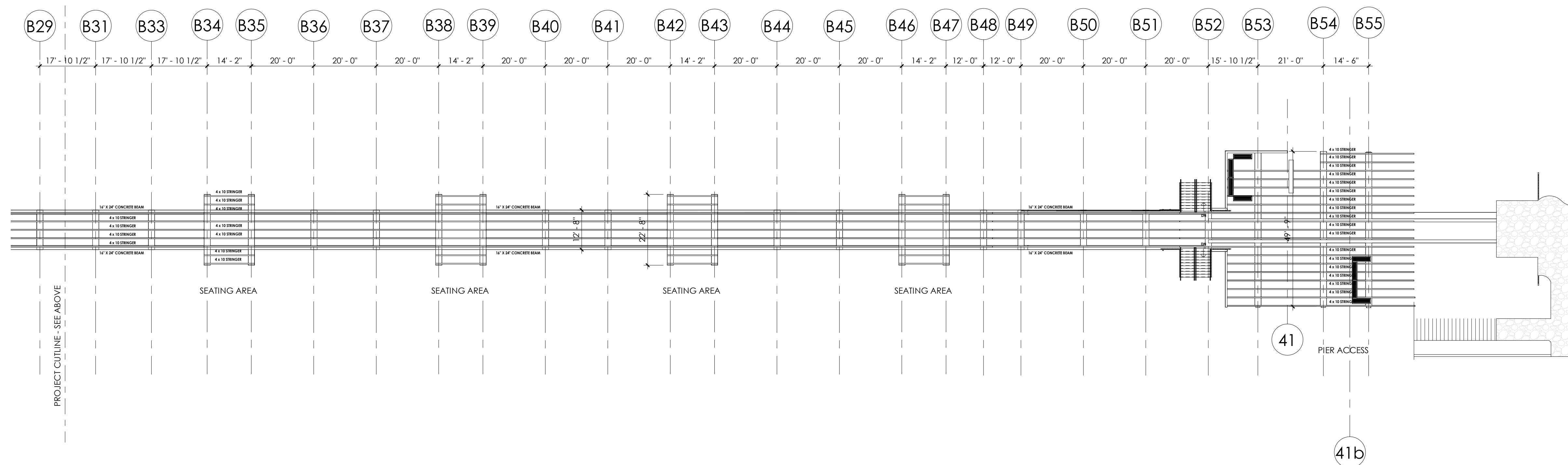
EXHIBIT A - 12A.2 Naples 30% Design Plan

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1 END-PAVILION TO MID-PAVILION FRAMING PLAN
SCALE: 1" = 20'-0"

NOTE: REFER TO STRUCTURAL DWGS FOR OVERALL STRUCTURAL COMPONENTS OF THE PAVILIONS, CONCESSIONS, DECKING, PILARS AND NEW ROOF EXTENSION AT RESTROOMS AREA.



2 OVERALL PIER FLOOR FRAMING - PIER ACCESS
SCALE: 1" = 20'-0"

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OVERALL FRAMING

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A.017

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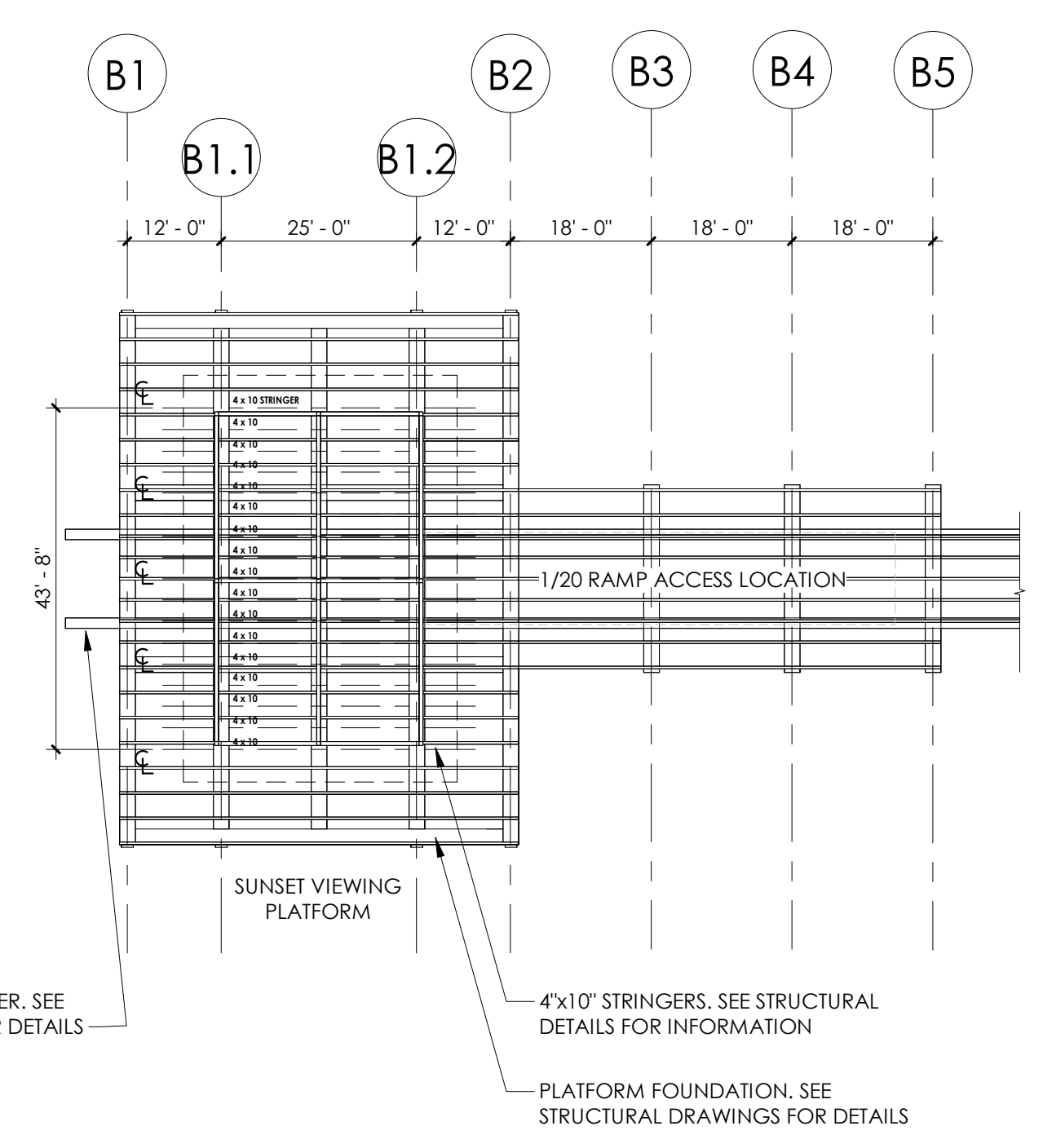
FRAMING PLAN & DETAILS

PHASE PR NO CD 23118

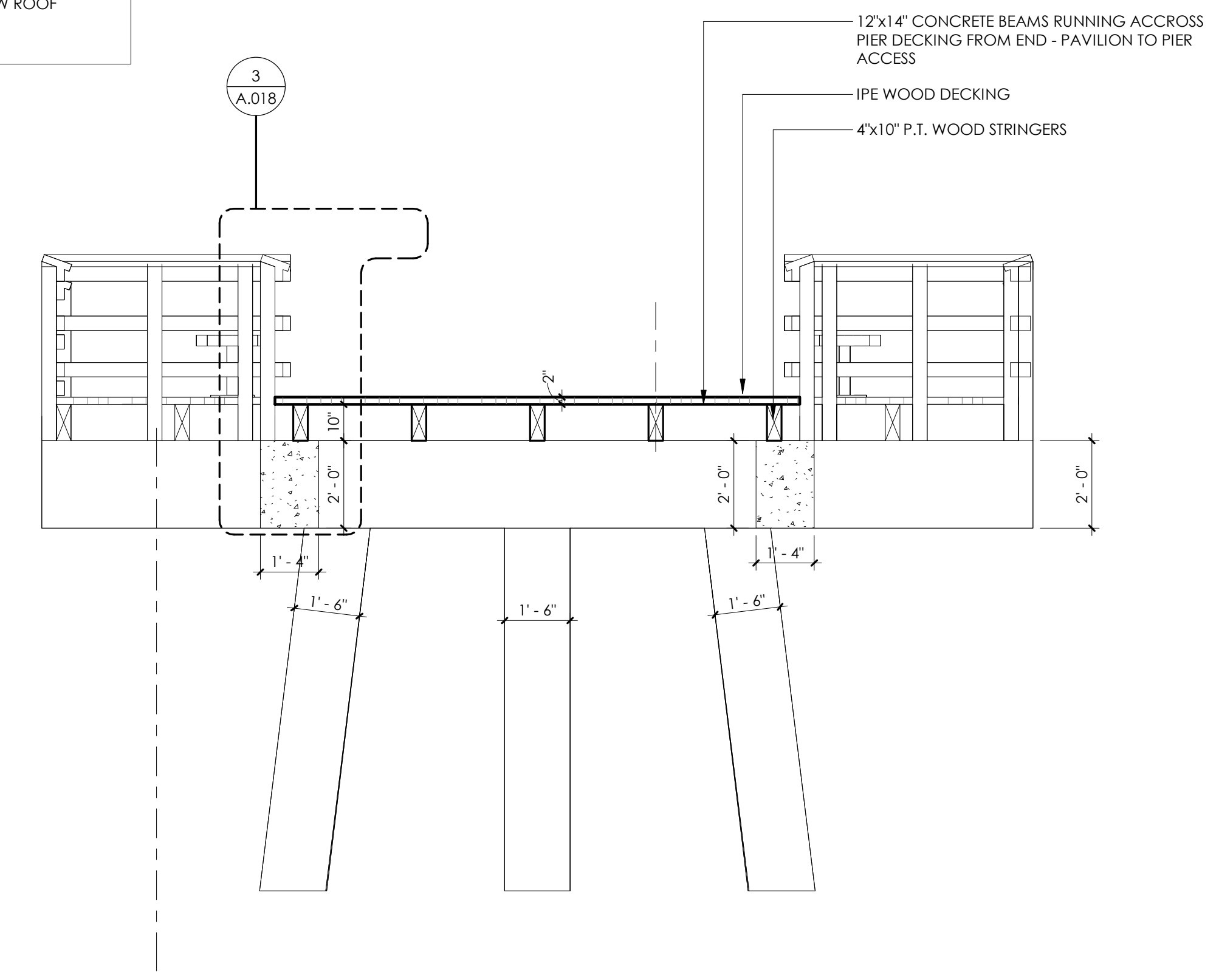
A.018

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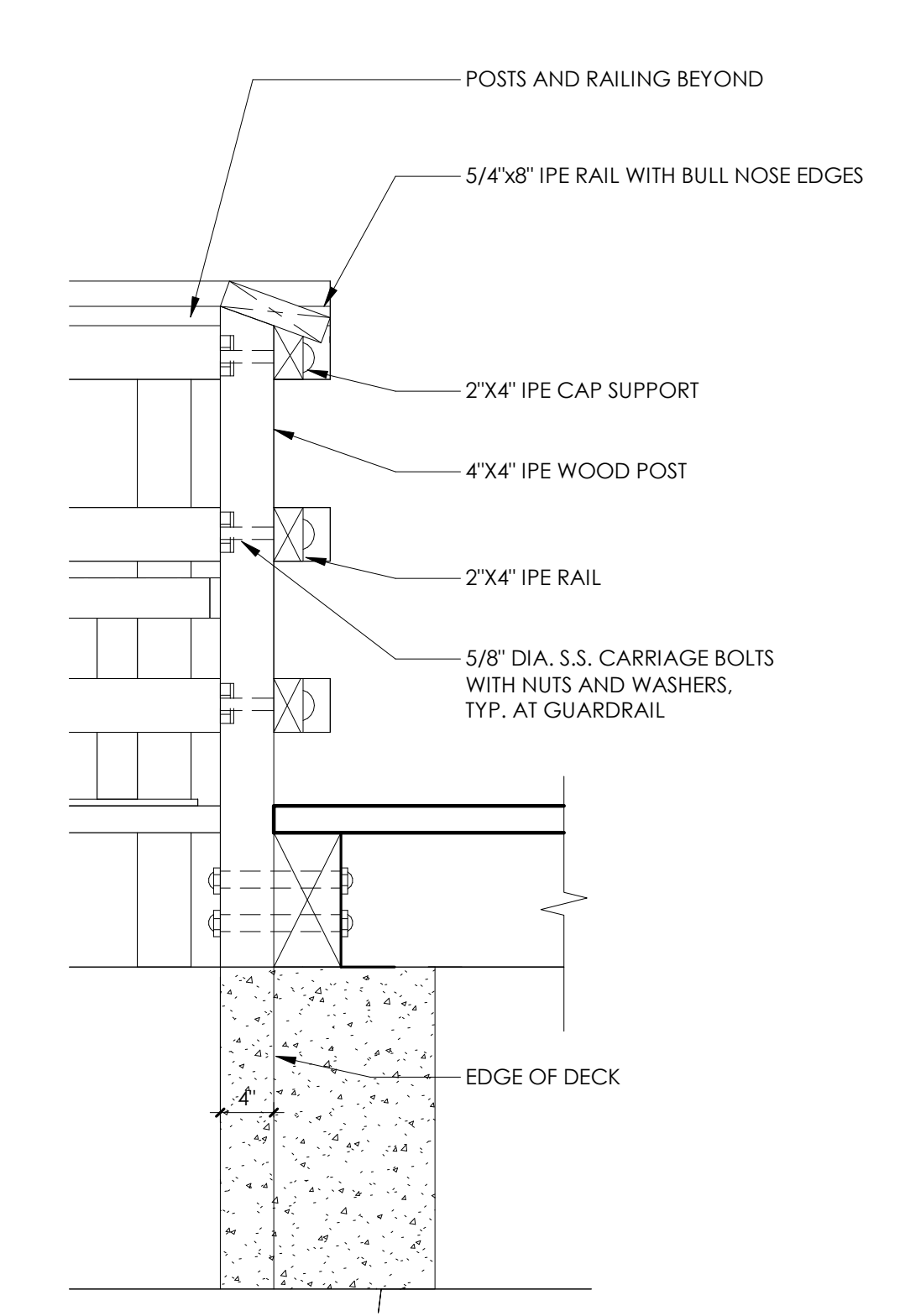
NOTE: REFER TO STRUCTURAL DWGS FOR OVERALL STRUCTURAL COMPONENTS OF THE PAVILIONS, CONCESSIONS, DECKING, PILARS AND NEW ROOF EXTENSION AT RESTROOMS AREA



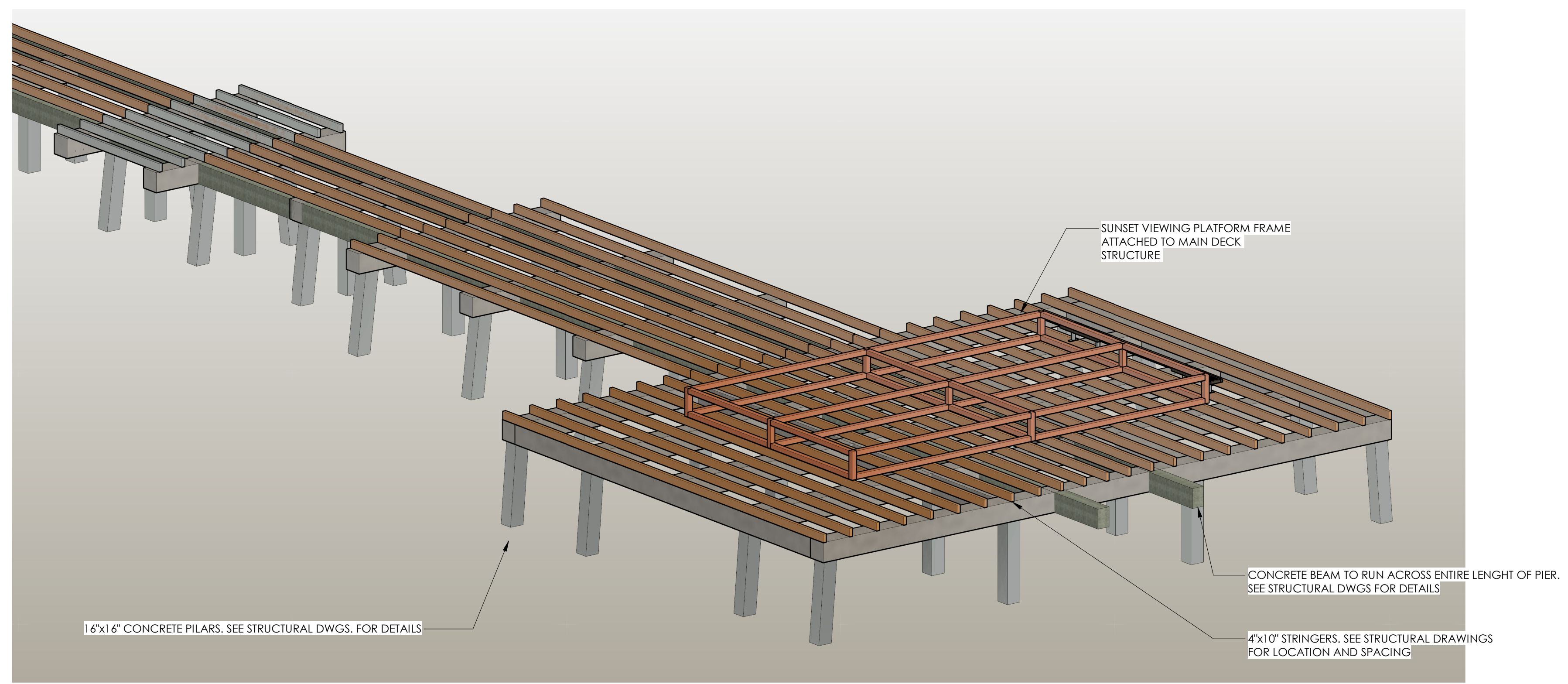
1 SUNSET VIEWING PLATFORM FRAMING PLAN
SCALE: 1" = 20'-0"



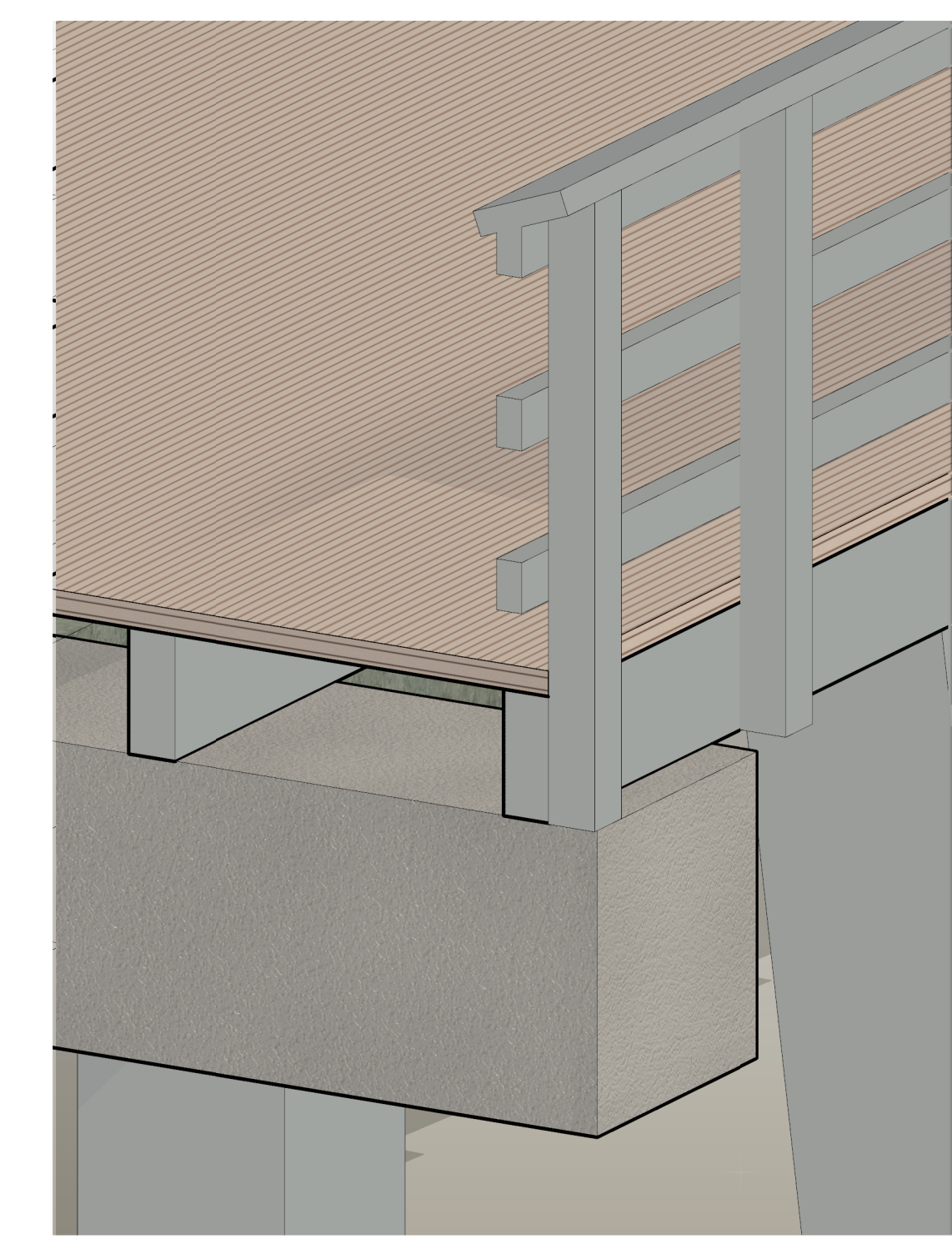
2 SEATING AREA TYPICAL SECTION DETAIL
SCALE: 3/8" = 1'-0"



3 GUARDRAIL CONNECTION DETAIL
SCALE: 1" = 1'-0"



4 3D END PAVILION FRAMING
SCALE:



5 3D - RAILING CONNECTION
SCALE:

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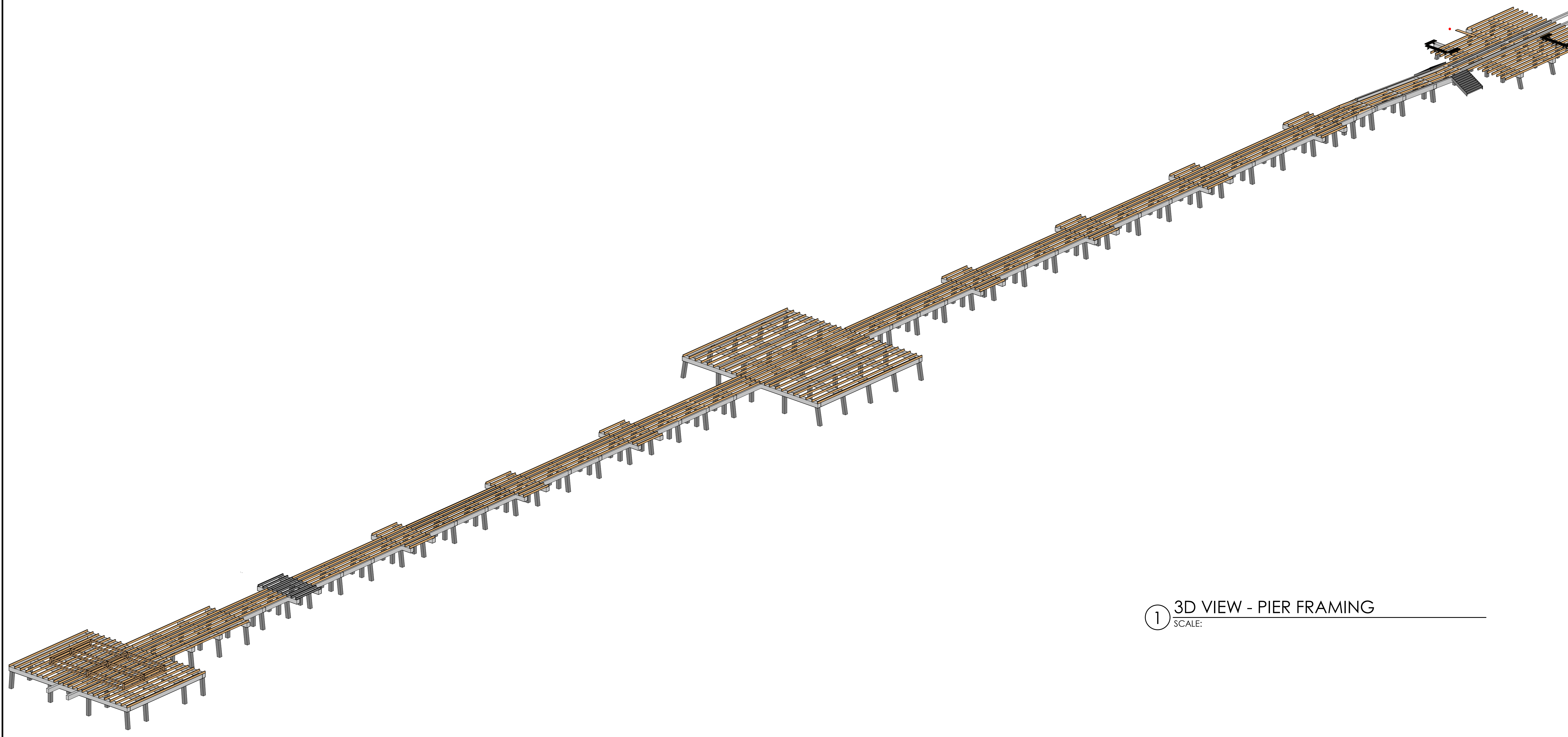
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3D VIEW - OVERALL PIER FRAMING

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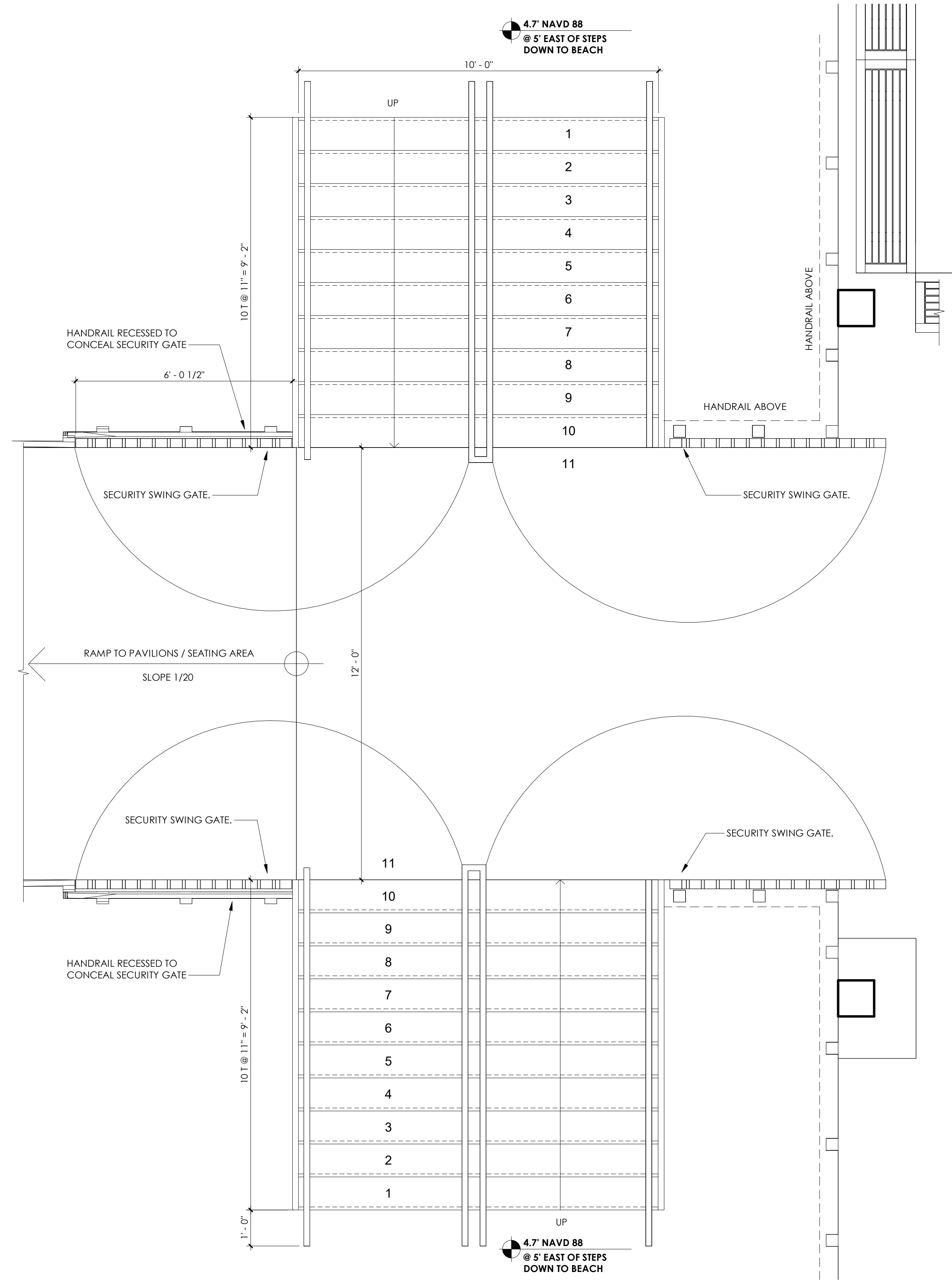
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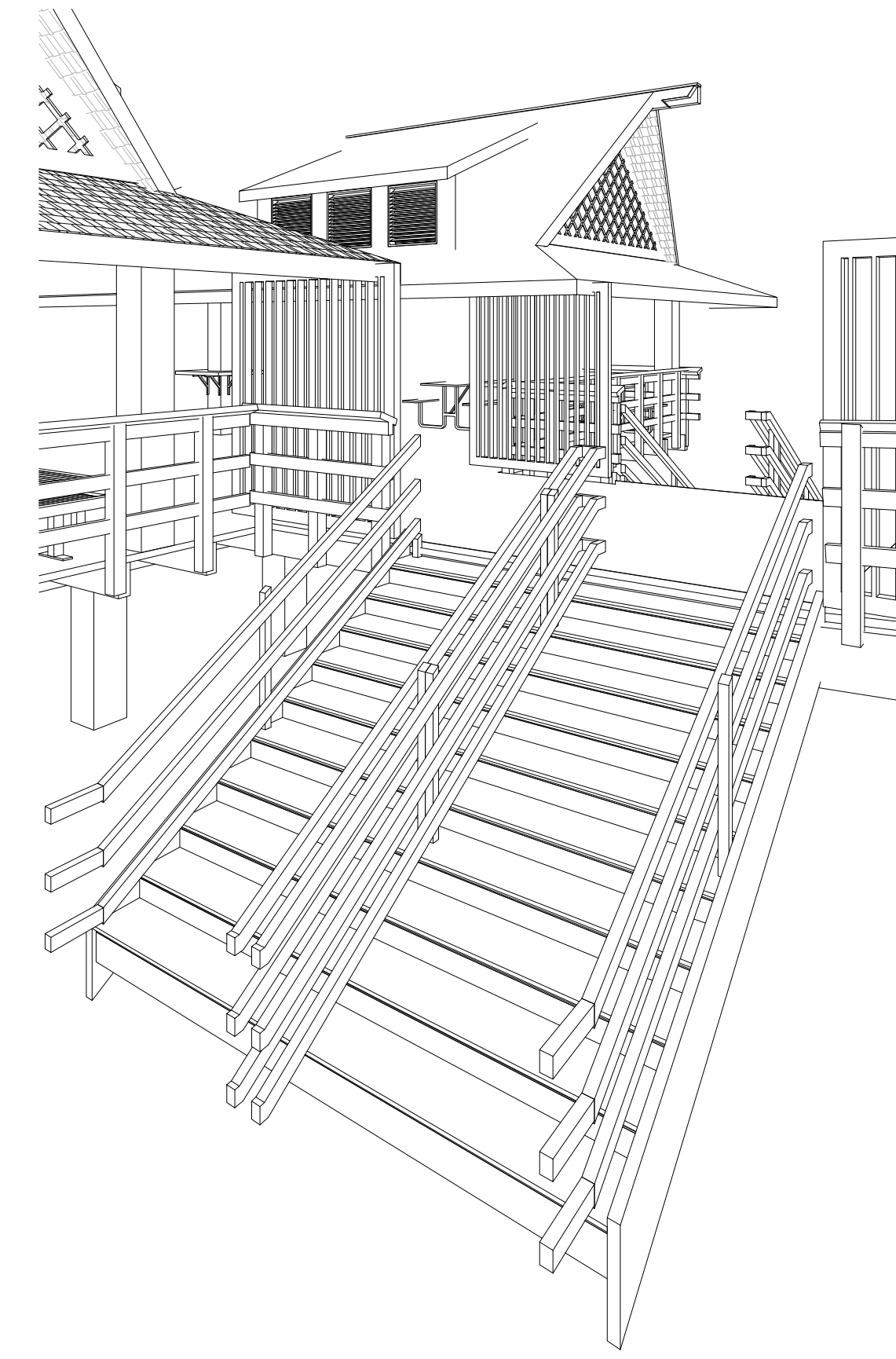
① 3D VIEW - PIER FRAMING
SCALE:

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1 STAIR - PIER ACCESS
SCALE: 1/2" = 1'-0"



2 3D VIEW - ACCESS STAIRS
SCALE:

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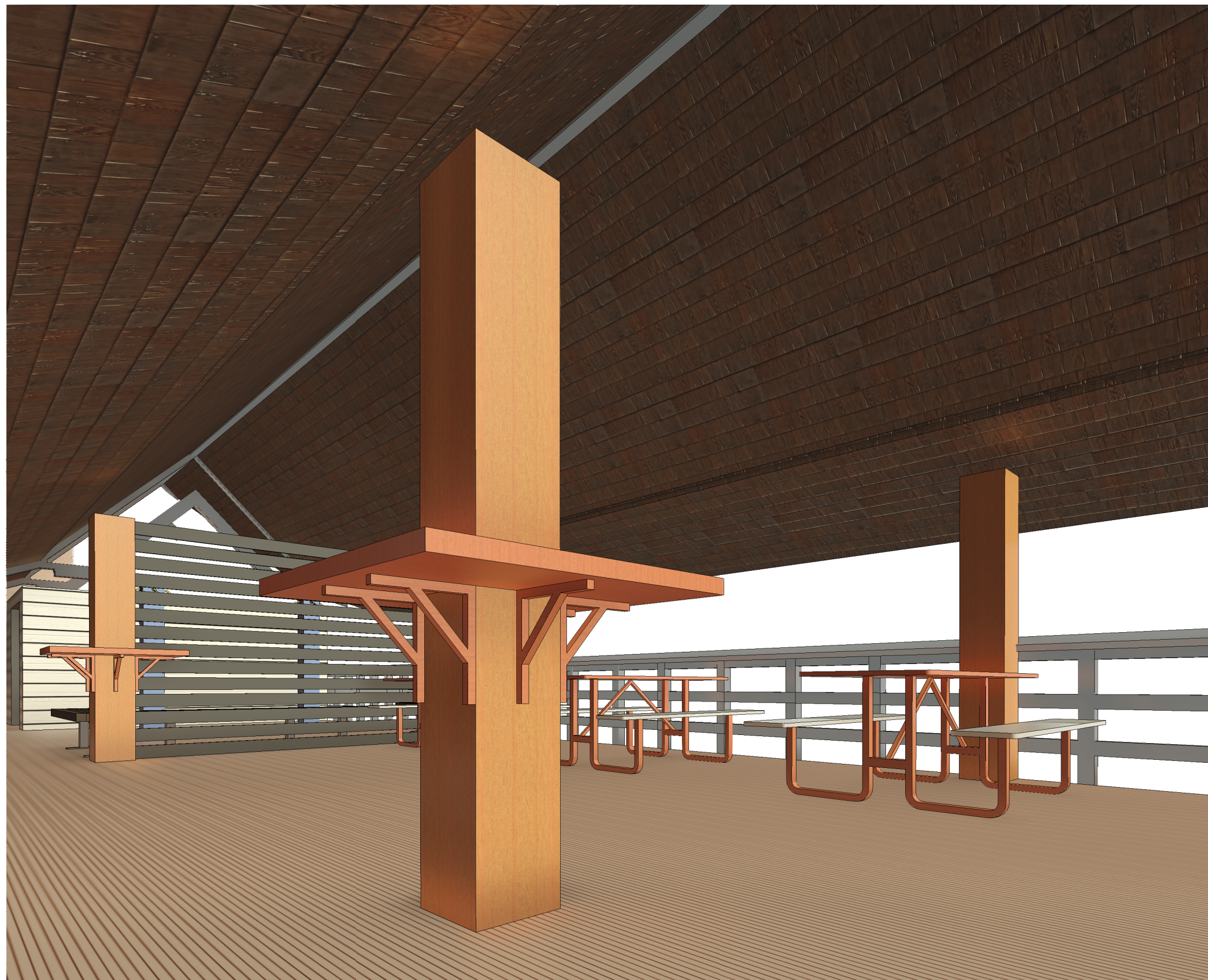
STAIRS
DETAILS

PHASE CD
PR NO 23118

A.020

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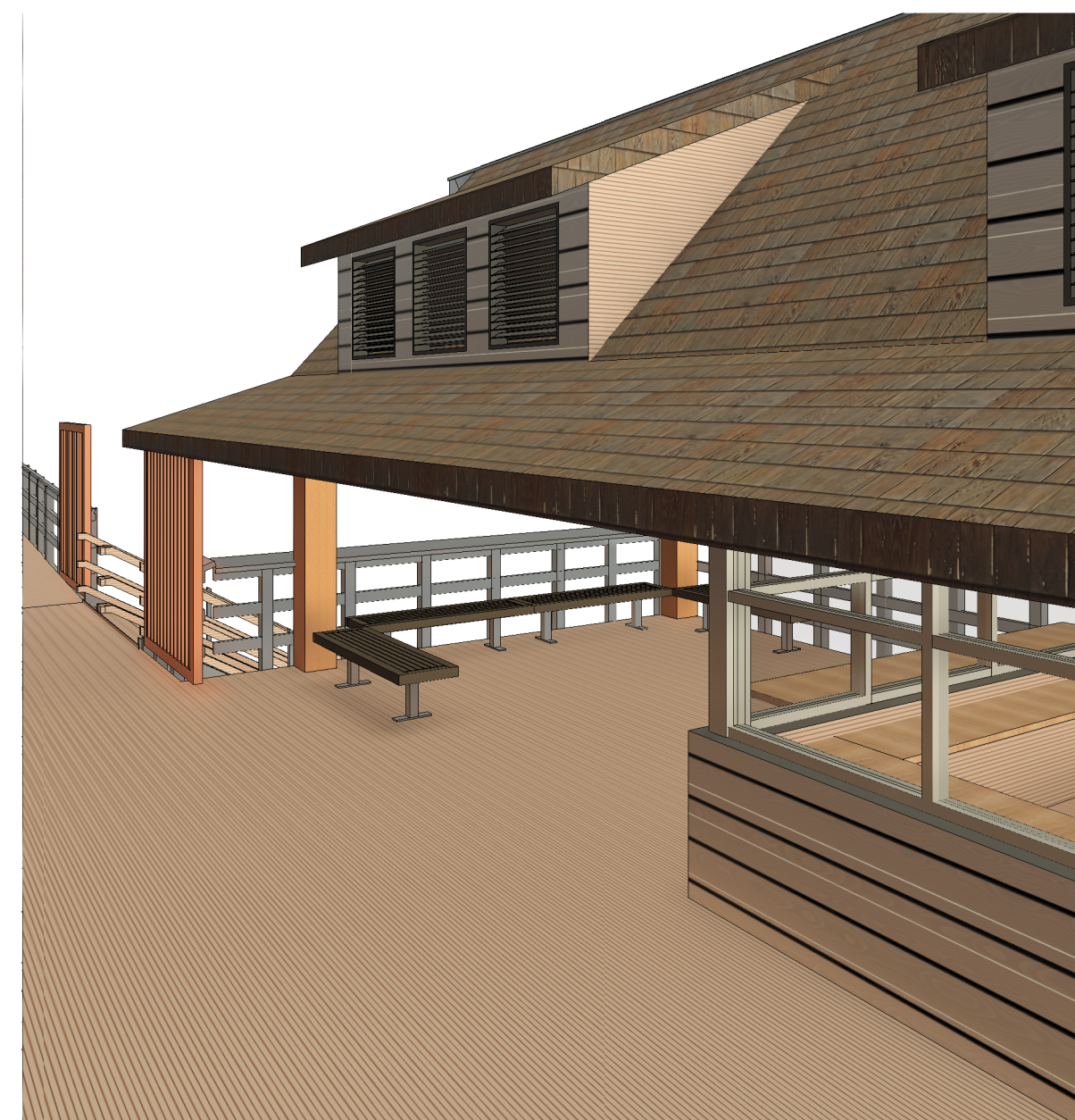
① 3D VIEW- SEATING AREA ACCROSS CONCESSIONS
SCALE:



② 3D VIEW - SHOWERS/GREEN WALL
SCALE:



③ 3D VIEW - CONCESSIONS
SCALE:



④ 3D - CONCESSIONS SEATING AREA
SCALE:



⑤ 3D VIEW - SEATING AREA / CONCESSIONS
SCALE:

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3D VIEWS -
PIER DECK
ACCESS

PHASE CD
PR NO 23118

A.021