

WYNN'S DOWNTOWN DOWNTOWN NAPLES, LLC

1090 1ST AVE S
NAPLES, FLORIDA, 34102



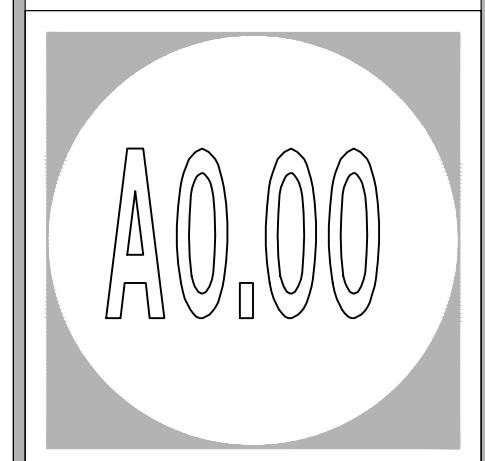
Date 02.26.24
Revisions
SITE PLAN REVIEW COMMENTS

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WYNN'S DOWNTOWN
DOWNTOWN NAPLES, LLC
1090 1ST AVE S.
NAPLES, FLORIDA 34102



PROJ. #: 2110-14
DRAWN BY: R.A.V.
04.02.24



FL LICENSE NUMBER AA102813
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NAPLES, FLORIDA
804 ANCHOR RODE DRIVE

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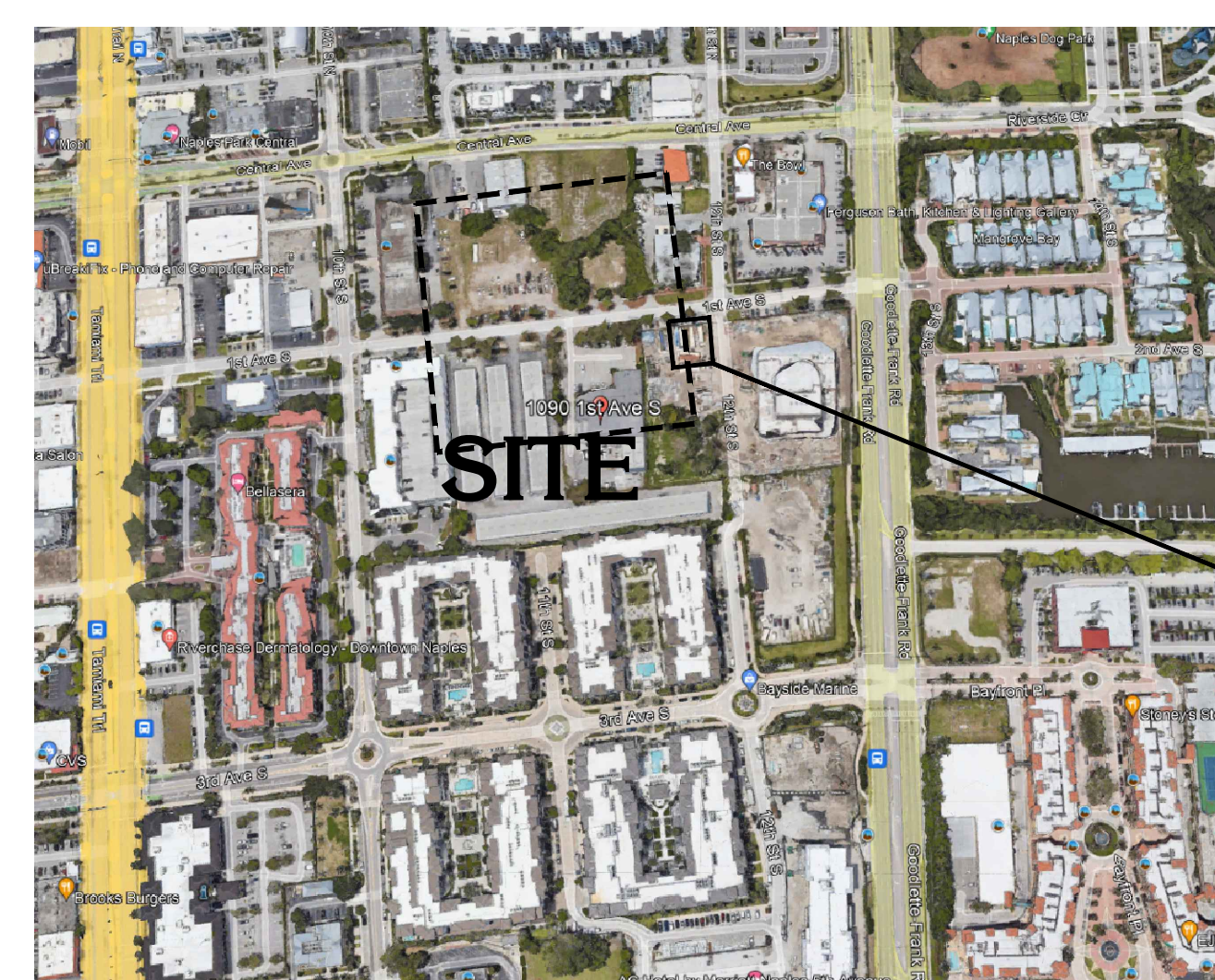
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cord@snellengineering.com

PROJECT ADDRESS

1090 1ST AVE S
NAPLES, FLORIDA 34102

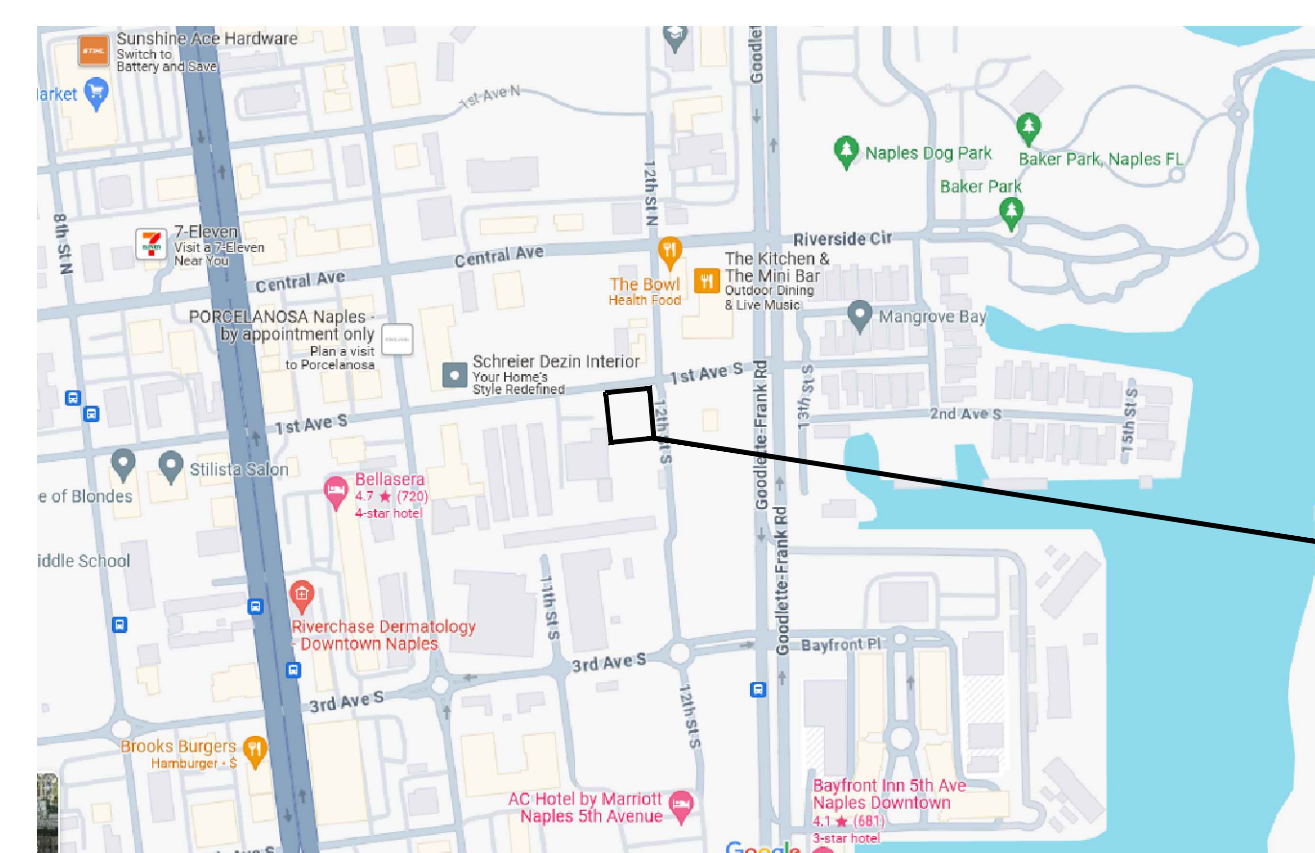
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AERIAL VIEW



SITE

MAP



SITE

ZONING NOTES

SQUARE FOOTAGE SUMMARY:

GROUND FLOOR
WEST OUTDOOR DINING: 190 SQ FT
WEST GROUND FLOOR : 5,804 SQ FT
VIA OUTDOOR DINING: 283 SQ FT
406 SQ FT
EAST GROUND FLOOR: 7,963 SQ FT
EAST+SOUTH OUTDOOR DINING: 2,700 SQ FT
TOTAL GROUND FLOOR: 17,346 SQ FT

SECOND FLOOR
SECOND FLOOR : 15,290 GROSS SQ FT

OUTDOOR TERRACE: 943 SQ FT
492 SQ FT
647 SQ FT

THIRD FLOOR
17 TRANSIENT LODGING UNITS:
1 RESIDENTIAL APARTMENT:

A/C SPACE: 13,318 SQ FT

WEST OUTDOOR TERRACE: 1,189 SQ FT
EAST OUTDOOR TERRACE: 1,841 SQ FT
REAR EXT. WALKWAY: 1,006 SQ FT
EXTERIOR EQUIPT: 492 SQ FT
162 SQ FT
188 SQ FT

PARKING SUMMARY:

GROUND FLOOR
SQUARE FOOTAGE/PARKING SUMMARY:

WEST OUTDOOR DINING: 190 SQ FT
WEST GROUND FLOOR : 5,829 SQ FT
VIA OUTDOOR DINING: 283 SQ FT
406 SQ FT
EAST GROUND FLOOR: 7,993 SQ FT
EAST OUTDOOR DINING: 1,700 SQ FT
TOTAL GROUND FLOOR: 16,346 GROSS SQ FT

PARKING SUMMARY (CONT)

SECOND FLOOR
SQUARE FOOTAGE SUMMARY:

SECOND FLOOR : 15,290 GROSS SQ FT

TOTAL SECOND FLOOR: 15,290 GROSS SQ FT

THIRD FLOOR
17 TRANSIENT LODGING UNITS: 17 x 1.25 = 21.25 = 22
1 APARTMENT: 2 PARKING SPACES REQUIRED (50% OF RESIDENTIAL REQUIREMENT FOR MIXED USE = 1 REQUIRED)
23 TOTAL PARKING SPACES REQUIRED FOR THIRD FLOOR
17,346 SQ FT
15,290 SQ FT =
(32,663 TOTAL SQ FT /1000) = 32.6 X 3= 97.9 = 98 CARS REQUIRED

+23 CAR PARKING REQUIRED THIRD FLOOR
+98 CAR PARKING - GROUND FLOOR AND SECOND FLOOR
=121 CAR PARKING REQUIRED

ON SITE PARKING PROVIDED: 6+6+5+5+5+4+4 =35
GARAGE PARKING: 25(PURCHASED) + 65(ALLOTED) = 90
90 + 35 = 125 TOTAL PARKING PROVIDED

SEE LANDSCAPE PLANS FOR OUTLINE OF LANDSCAPE AREAS VS REQUIREMENTS IN PARKING AREAS, ETC.

GENERAL ZONING NOTES:

BUILDING HAS PRINCIPLE ENTRANCES ON 1ST AVE S. AND 12TH STREET S

BUILDING GROUND FLOOR IS ELEVATED APPROXIMATELY 2' DUE TO EXISTING GRADE AT THE CORNER OF 1ST AVE S AND 12TH ST S. THIS IS THE ONLY OPTION DUE TO EXISTING ELEVATIONS OF THE CORNER AND THE ELEVATION SELECTED FOR THE PARKING GARAGE.

BUILDING ADDRESSES THE STREET

LOADING IS AT THE REAR ALLEY.HOSE BIBBS WILL BE PROVIDED AT EXTERIOR OF THE BUILDING FOR KEEPING ALL AREAS CLEAN.

SAME HOSE BIBB NOTE APPLIES TO THE DUMPSTER AREA.

MECHANICAL AREAS ARE LOCATED AWAY FROM THE FRONTAGE LINE. THE UNITS ARE ALL HIGH EFFICIENCY VRF WITH A VERY LOW DB LEVEL. PRIVACY SHIELD ABBC-13EXT EXTERIOR BACKED SOUNDPROOFING BLANKETS WILL BE USED TO DEADEN THE NOISE OF MECHANICAL EQUIPMENT.

SITE DESIGN HAS ACCOUNTED FOR DUMPSTER PLACEMENT IN THE LEAST OBTRUSIVE AREA OF THE SITE - THE DUMPSTER ENCLOSURE WILL HAVE WATER SUPPLY FOR KEEPING THE AREA CLEAN

ALL REQUIREMENTS OF SETBACK ZONE C HAVE BEEN MET. SEE NOTES ON SITE PLAN FOR SETBACKS, ETC.

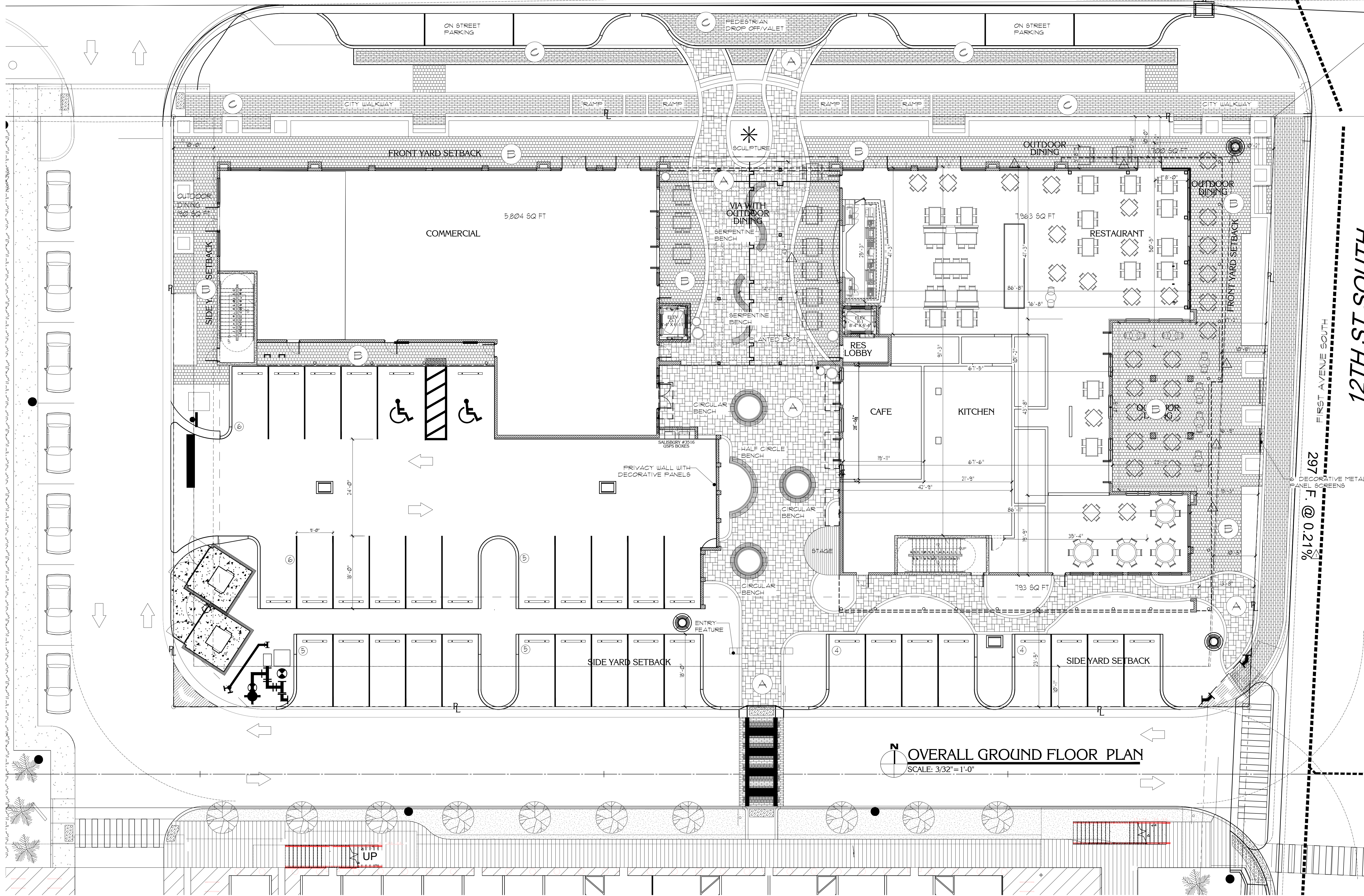
ALL SETBACK REQUIREMENTS HAVE BEEN MET, NOT ONLY ON 1ST AVE S - BUT ALSO ON 12TH ST S TO PROVIDE DESIGN UNIFORMITY OF THE BUILDING. SEE EXTERIOR ELEVATIONS FOR STEP BACK DISTANCES AND PERCENTAGES.

FIRST FLOOR WINDOW HEIGHTS ARE 11'- 0" - SEE EXTERIOR ELEVATIONS.

GROUND FLOOR TO CEILING HEIGHT IS 12'-0". TRANSITION LINES AND ARCHITECTURAL FEATURES HAVE BEEN PROVIDED AT THE TOP OF THE FIRST STORY IN THE FORM OF MATERIAL CHANGE, OVERHANGS, SIGN BAND, ETC.

GLAZED AREA OF ALL ELEVATIONS EXCEEDS 20%. SEE ELEVATIONS FOR PERCENTAGES.

1ST AVENUE SOUTH (80' ROW)
FIRST AVENUE SOUTH



OVERALL GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"



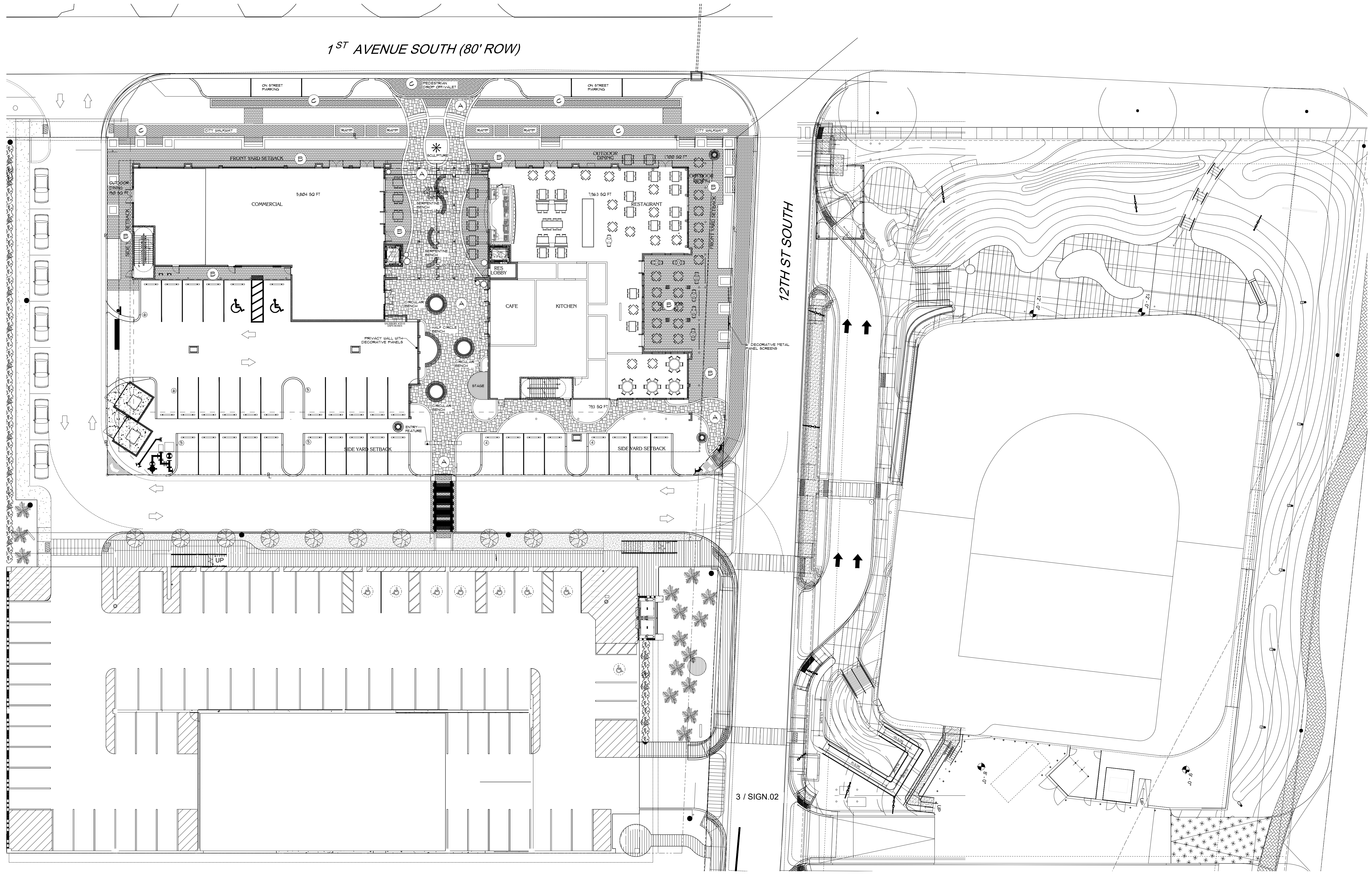
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PROJ. #: 210-14
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04.02.24





1ST AVENUE SOUTH (80' ROW)

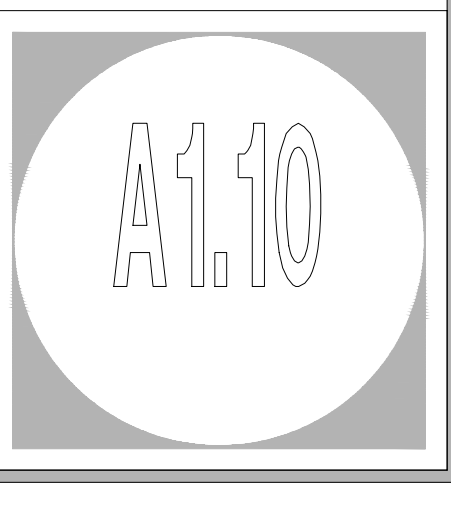
12TH ST SOUTH

3 / SIGN.02

OVERALL GROUND FLOOR PLAN including GSP and PARKING GARAGE
SCALE: 1" = 20'

SITE PLAN REVIEW

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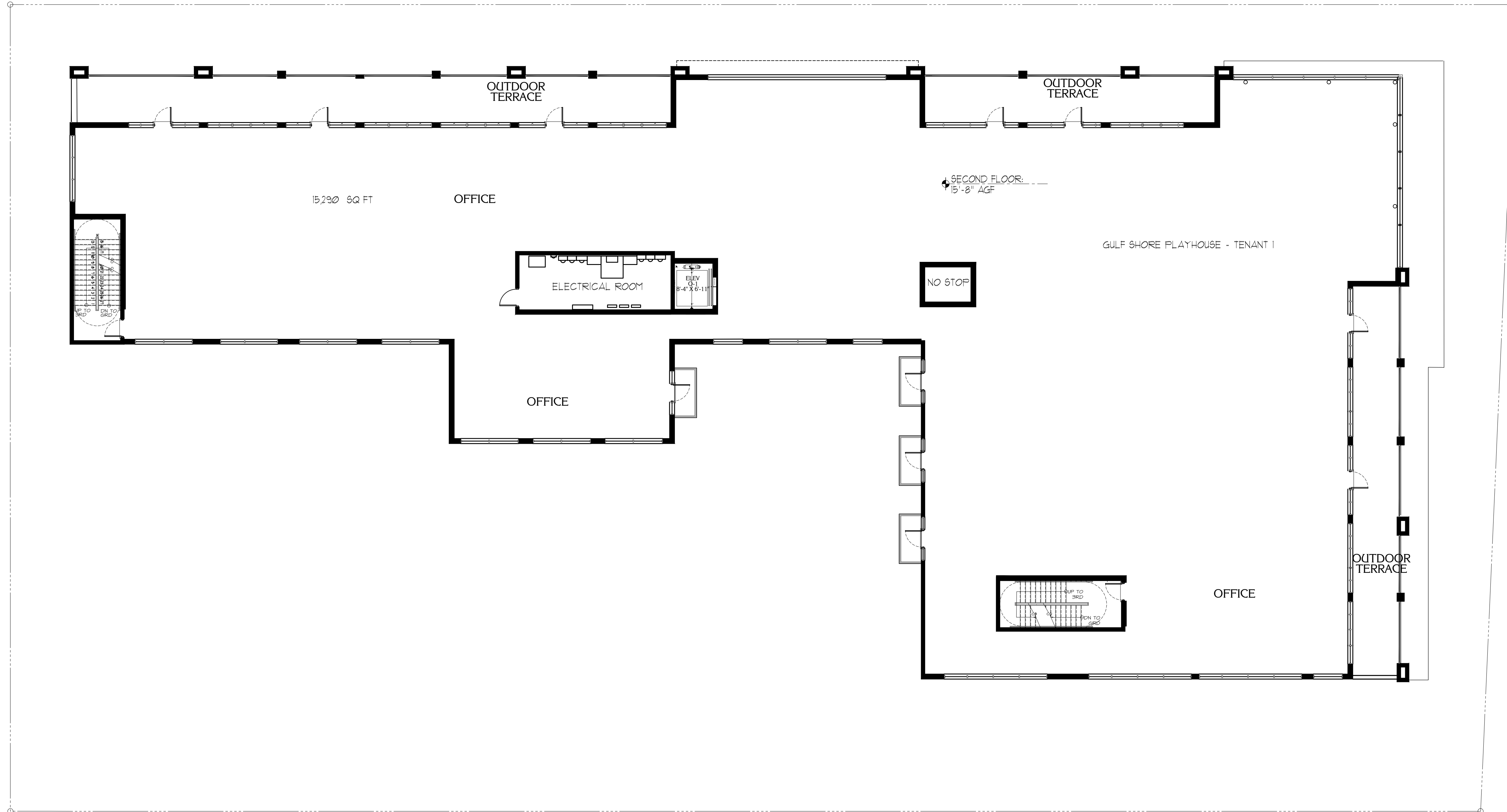
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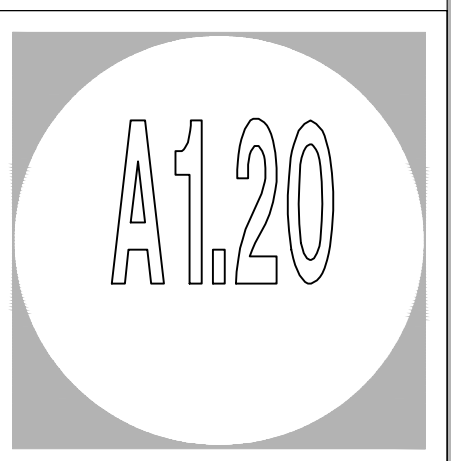
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OVERALL SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

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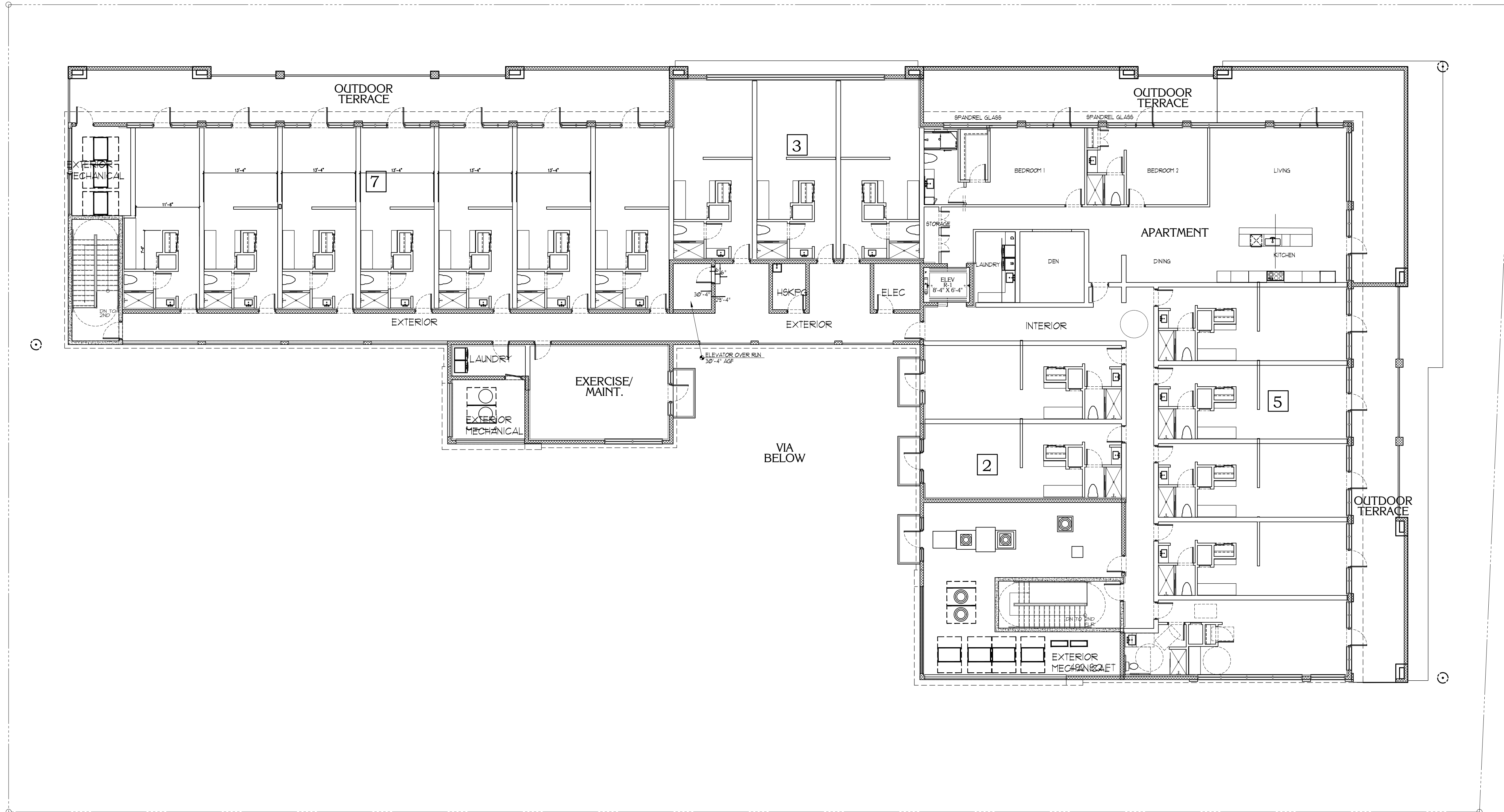
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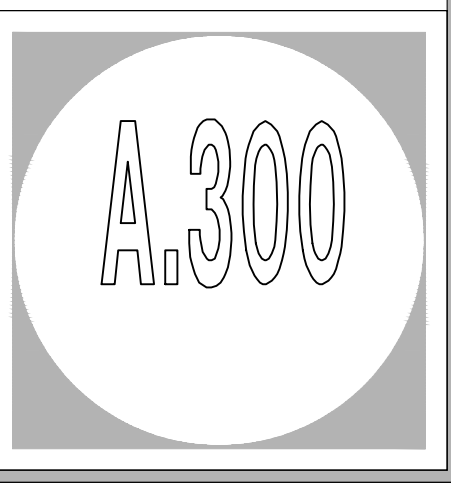
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OVERALL THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

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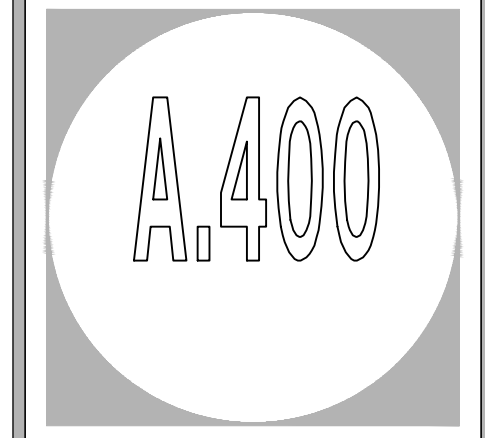


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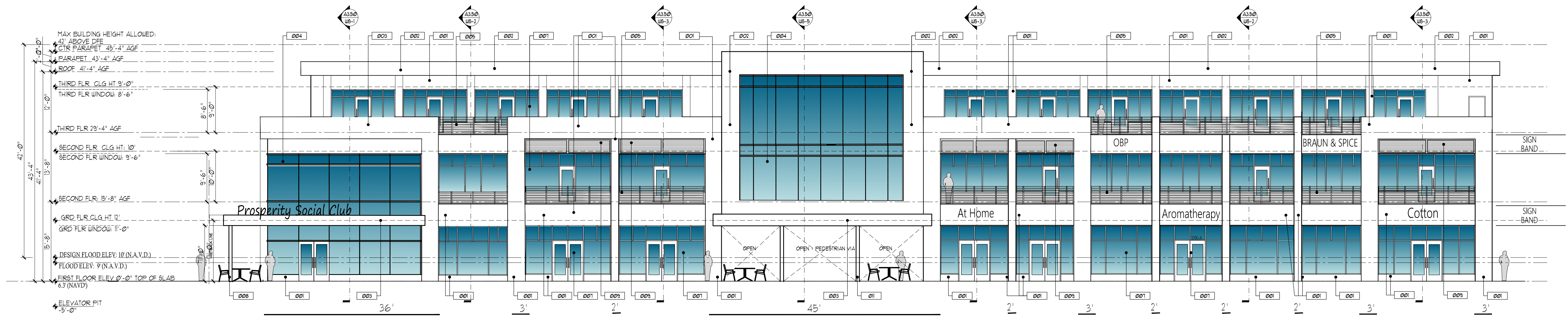


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SITE PLAN REVIEW

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 NAPLES, FLORIDA
 804 ANCHOR RODE DRIVE
 FL LICENSE NUMBER AA102813



PER 58-912: BUILDING HAS 242' OF FRONTAGE ON 1ST AVE SOUTH IN ZONE C:
 60% MAXIMUM OF THE REQUIRED 8' 2ND AND THIRD FLR SETBACK MAY BE ON THE BUILD TO LINE.
 103' OF THE BUILDING FRONTAGE IS ON THE BUILD TO LINE SO
 42% IS ON THE BUILD TO LINE
 42% IS LESS THAN 60%

NORTH ELEVATION
 SCALE: 3/32"=1'-0"

PEDESTRIAN VIA

PER 58-914- 1. ADDRESS NUMBERS WILL BE A MAXIMUM OF 8" TALL AND WILL BE REFLECTIVE AND VISIBLE FROM ALL STREETS. SEE NORTH ELEVATION FOR SAMPLE ADDRESS SIGN.
 PER 58-914- 2. SIGNAGE BANDS (2) ARE NOTED ON FRONTAGE ELEVATIONS SIGNS WILL BE NO TALLER THAN 25" (SIGNS SHOWN ARE 1'-9" TALL). SIGN BAD IS 11'-0" ABOVE SIDEWALK.

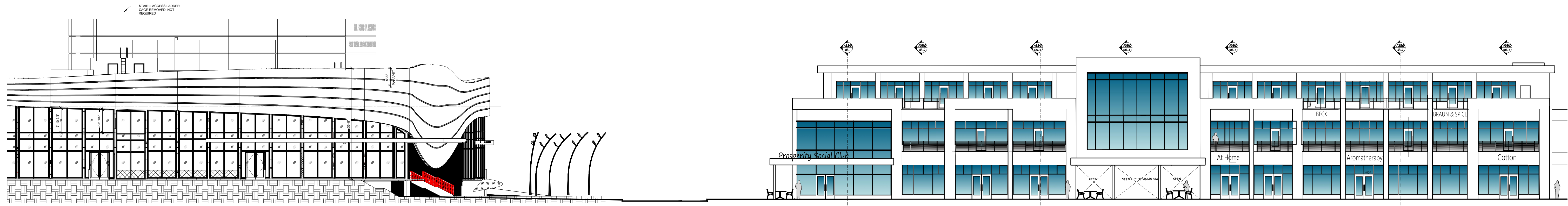
PER 58-912: SETBACK ZONE C: BUILDING HAS 242' OF FRONTAGE ON 1ST AVE SOUTH IN ZONE C:
 60% MAXIMUM OF THE REQUIRED 8' SETBACK MAY BE ON THE BUILD TO LINE.
 103' OF THE BUILDING FRONTAGE IS ON THE BUILD TO LINE SO
 42% IS ON THE BUILD TO LINE
 42% IS LESS THAN 60%
 SEE SET BACK AND FRONTAGE DIMENSIONS NOTED ON ELEVATIONS
 PER 58-912 ITEM 3a. 1 THRU 5: WINDOW HEAD HEIGHT OF 8' REQUIRED WINDOW HEAD HEIGHT OF 11' PROVIDED AT GROUND FLOOR
 PER 58-912 ITEM 3C: GLAZING AREA AT GROUND FLOOR RETAIL IS 84% WHICH EXCEEDS 65%
 PER 58-912 ITEM 3B: GLAZING AREA OF ENTIRE NORTH AND EAST ELEVATION IS 12% - WHICH EXCEEDS 20% REQUIREMENT.
 SOUTH ELEVATION GLAZING AREA IS GREATER THAT 50% WHICH EXCEEDS 20%
 EAST ELEVATION GLAZING AREA IS 30% WHICH EXCEEDS 20%

EXTERIOR MATERIAL LEGEND	
001	CEMENTITIOUS FINISH (CF) WITH BASE COATS ALL EDGING, TRIM AND CONTROL JOINTS. SAND FINISH. PAINT: SW 1012 CREAMY
002	CEMENTITIOUS FINISH (CF) WITH BASE COATS ALL EDGING, TRIM AND CONTROL JOINTS. SAND FINISH. PAINT: SW 1046 ANONYMOUS
003	ALUCABOND DARK BRONZE
004	CURTAIN WALL VERTICAL FRAMELESS JOINTS DARK BRONZE ALUM FRAMING
005	DARK BRONZE ALUMINUM RAIL WITH 99 CABLE - PROVIDE WARRANTY FOR FINISH
006	ALUMINUM DRIP EDGE FINISH COLOR TO MATCH STUCCO
007	BRONZE ALUMINUM FRAME HURRICANE RATED STOREFRONT SYSTEM, CLEAR GLASS, 8' DOORS AT GROUND FLOOR WITH 3' TRANSOMS
007a	WHITE ALUMINUM FRAME HURRICANE RATED STOREFRONT SYSTEM, CLEAR GLASS, 8' DOORS AT GROUND FLOOR WITH 3' TRANSOMS
008	FLAGPOLE
009	HURRICANE RATED VERTICAL BAHAMA SHUTTER
010	HURRICANE RATED ALUMINUM LOUVER - DARK BRONZE TO MATCH ALUCABOND
011	STRUCTURAL STEEL TUBE - PAINTED
012	NICKEL GAP T 4 G HORIZONTAL SIDING WITH 6" CASING CASING: SW 1005 PURE WHITE SIDING: SW 7665 WALL STREET
013	ENTRY FEATURE - PRECAST CLADDING - DARK GREY
014	DECORATIVE ALUMINUM SCREEN
015	HURRICANE RATED DARK BRONZE ALUM SHUTTER - MOUNT DIAGONALLY WITH BRACKETS
016	CONCRETE DECK WITH CABLE RAILING AND TENSION RODS
017	CMU AND STUCCO SCREEN WALL WITH 2" TALL WATER TABLE AND PILASTERS. PRECAST CAP AND ALUM DECORATIVE SCREEN AT TOP OF WALL. SEE STRUCTURAL PLANS AND ARCH DETAILS
018	DECORATIVE LIGHT AT EGRESS DOORS. SEE LIGHT SCHEDULE AND PHOTOMETRICS



PER 58-912 AND FUD: MATCHING FRONTAGE REQ'TS ON 1ST AVE S: BUILDING HAS 108' OF FRONTAGE ON 12th ST. S. IN ZONE C:
 60% MAXIMUM OF THE REQUIRED 8' SETBACK MAY BE ON THE BUILD TO LINE.
 46' OF THE BUILDING FRONTAGE IS ON THE BUILD TO LINE - SO:
 42% IS ON THE BUILD TO LINE
 42% IS LESS THAN 60%

EAST ELEVATION
 SCALE: 3/32"=1'-0"

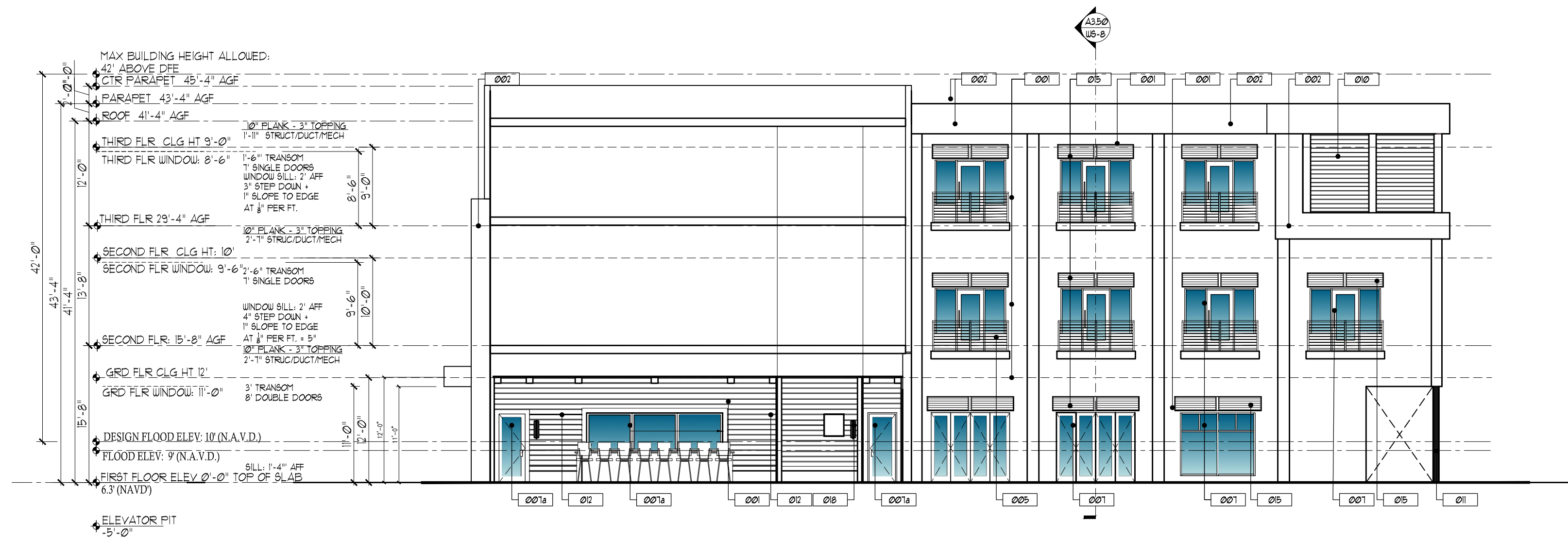


NORTH ELEVATION WITH GULFSHORE PLAYHOUSE

SCALE: 1/16"=1'-0"

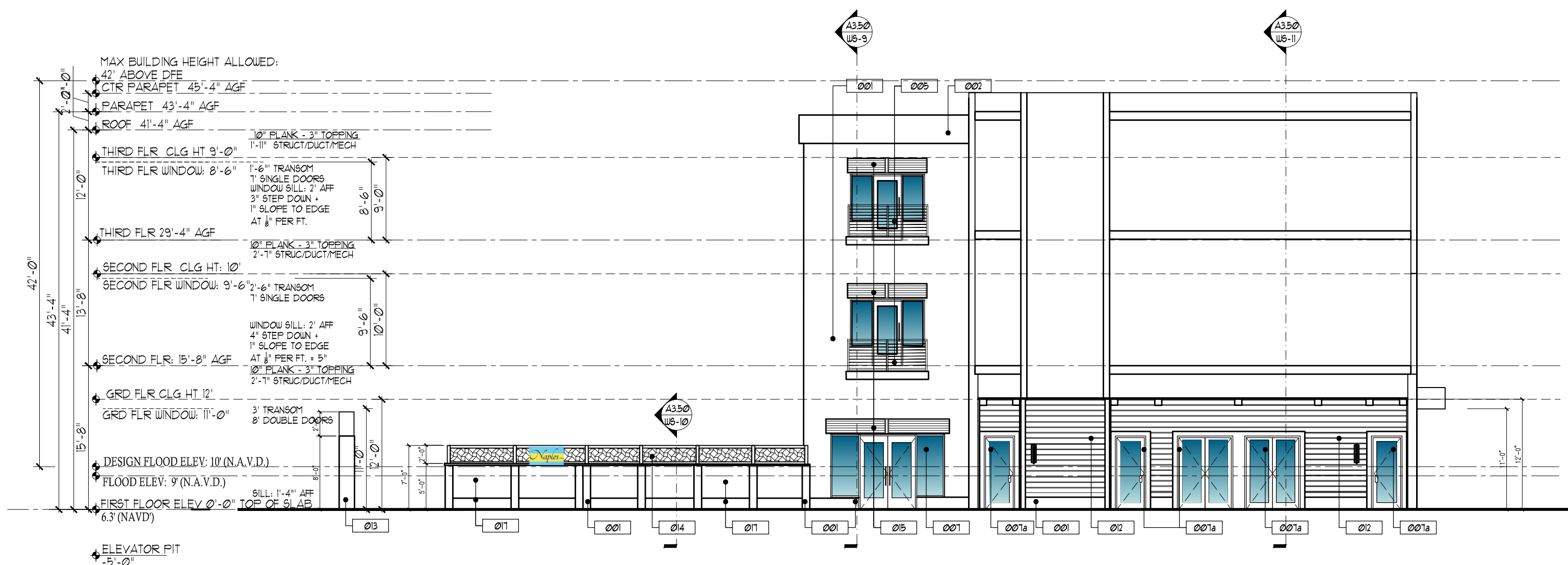
EXTERIOR MATERIAL LEGEND

- 001 CEMENTITIOUS FINISH (CF) WITH BASE COATS ALL EDGING, TRIM AND CONTROL JOINTS. SAND FINISH. PAINT: SW 1012 CREAMY
- 002 CEMENTITIOUS FINISH (CF) WITH BASE COATS ALL EDGING, TRIM AND CONTROL JOINTS. SAND FINISH. PAINT: SW 1046 ANONYMOUS
- 003 ALUCABOND DARK BRONZE
- 004 CURTAIN WALL VERTICAL FRAMELESS JOINTS DARK BRONZE ALUM FRAMING
- 005 DARK BRONZE ALUMINUM RAIL WITH SS CABLE - PROVIDE WARRANTY FOR FINISH
- 006 ALUMINUM DRIP EDGE FINISH COLOR TO MATCH STUCCO
- 007 BRONZE ALUMINUM FRAME HURRICANE RATED STOREFRONT SYSTEM CLEAR GLASS 8' DOORS AT GROUND FLOOR WITH 3' TRANSOMS
- 007a WHITE ALUMINUM FRAME HURRICANE RATED STOREFRONT SYSTEM CLEAR GLASS 8' DOORS AT GROUND FLOOR WITH 3' TRANSOMS
- 008 FLAGPOLE
- 009 HURRICANE RATED VERTICAL BAHAMA SHUTTER
- 010 HURRICANE RATED ALUMINUM LOUVER - DARK BRONZE TO MATCH ALUCABOND
- 011 STRUCTURAL STEEL TUBE - PAINTED
- 012 NICKEL GAP T 4 G HORIZONTAL SIDING WITH 6" CASING SIDING: SW 7005 PURE WHITE SIDING: SW 7665 WALL STREET
- 013 ENTRY FEATURE - PRECAST CLADDING - DARK GREY
- 014 DECORATIVE ALUMINUM SCREEN
- 015 HURRICANE RATED DARK BRONZE ALUM SHUTTER - MOUNT DIAGONALLY WITH BRACKETS
- 016 CONCRETE DECK WITH CABLE RAILING AND TENSION RODS
- 017 CMU AND STUCCO SCREEN WALL WITH 2" TALL WATER TABLE AND FILASTERS. PRECAST CAP AND ALUM DECORATIVE SCREEN AT TOP OF WALL. SEE STRUCTURAL PLANS AND ARCH DETAILS
- 018 DECORATIVE LIGHT AT EGRESS DOORS. SEE LIGHT SCHEDULE AND PHOTOMETRICS



EAST ELEVATION - SECTION AT VIA

SCALE: 3/32"=1'-0"



WEST ELEVATION - SECTION AT VIA

SCALE: 3/32"=1'-0"



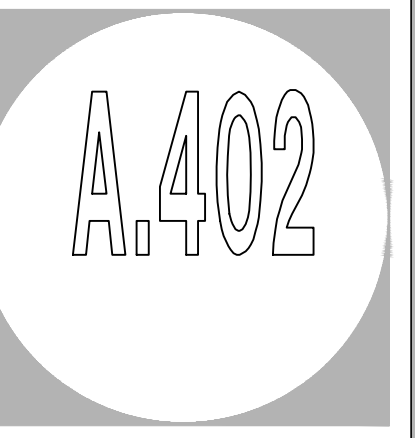
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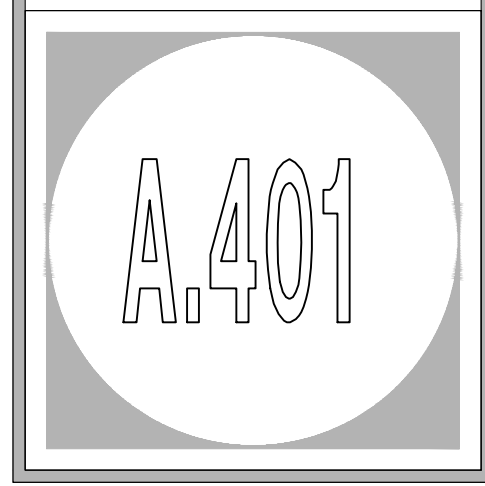
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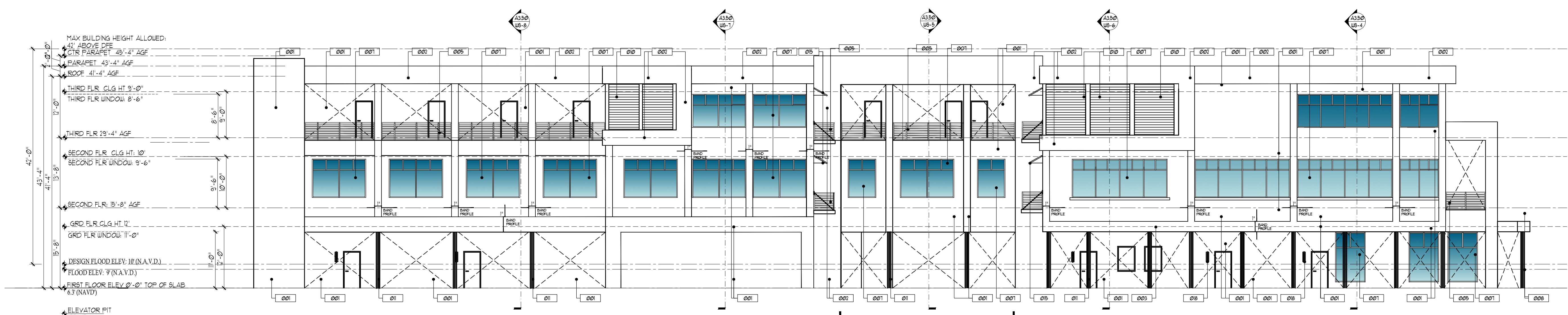
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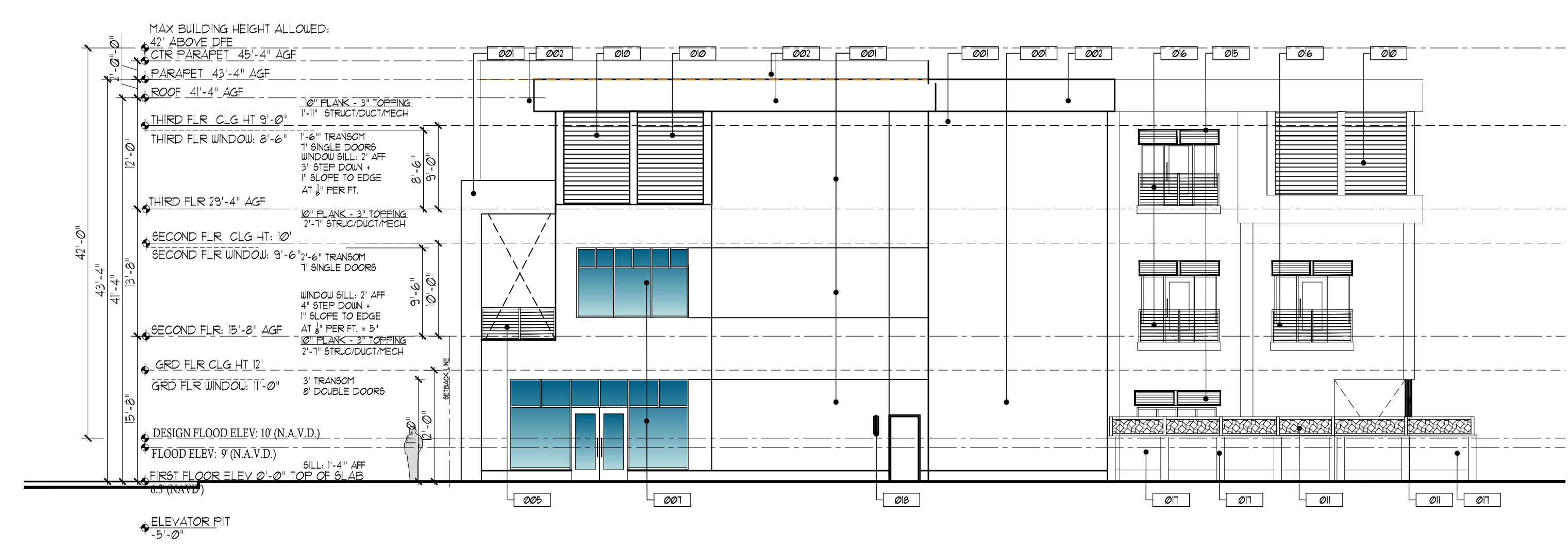
SITE PLAN REVIEW



PER 58-911 ITEM II, DUMPSTERS AND BACKFLOW PREVENTERS ARE LOCATED AWAY FROM PEDESTRIAN AREA. DUMPSTERS ARE ENCLOSED. TENANT LEASES WILL NOT PERMIT TRANSFER OF GARBAGE TO THE DUMPSTERS DURING BUSINESS AND RESTAURANT HOURS. EXTERIOR HOSE BIBBS ARE BEING LOCATED TO ALLOW REGULAR CLEANING OF ALL PEDESTRIAN AREAS. A REFRIGERATED GARBAGE AREA WILL ALSO BE PROVIDED WITHIN THE RESTAURANT FOR SHORT TERM GARBAGE. A CAN HOSE OUT WILL ALSO BE PROVIDED IN THE GARBAGE ROOM.

SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND	
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004	CURTAIN WALL VERTICAL FRAMELESS JOINTS DARK BRONZE ALUM FRAMING
005	DARK BRONZE ALUMINUM RAIL WITH 56 CABLE - PROVIDE WARRANTY FOR FINISH
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013	ENTRY FEATURE - PRECAST CLADDING - DARK GREY
014	DECORATIVE ALUMINUM SCREEN
015	HURRICANE RATED DARK BRONZE ALUM SHUTTER - MOUNT DIAGONALLY WITH BRACKETS
016	CONCRETE DECK WITH CABLE RAILING AND TENSION RODS
017	CMU AND STUCCO SCREEN WALL WITH 2" TALL WATER TABLE AND FILASTERS. PRECAST CAP AND ALUM DECORATIVE SCREEN AT TOP OF WALL. SEE STRUCTURAL PLANS AND ARCH DETAILS
018	DECORATIVE LIGHT AT EGRESS DOORS. SEE LIGHT SCHEDULE AND PHOTOMETRICS

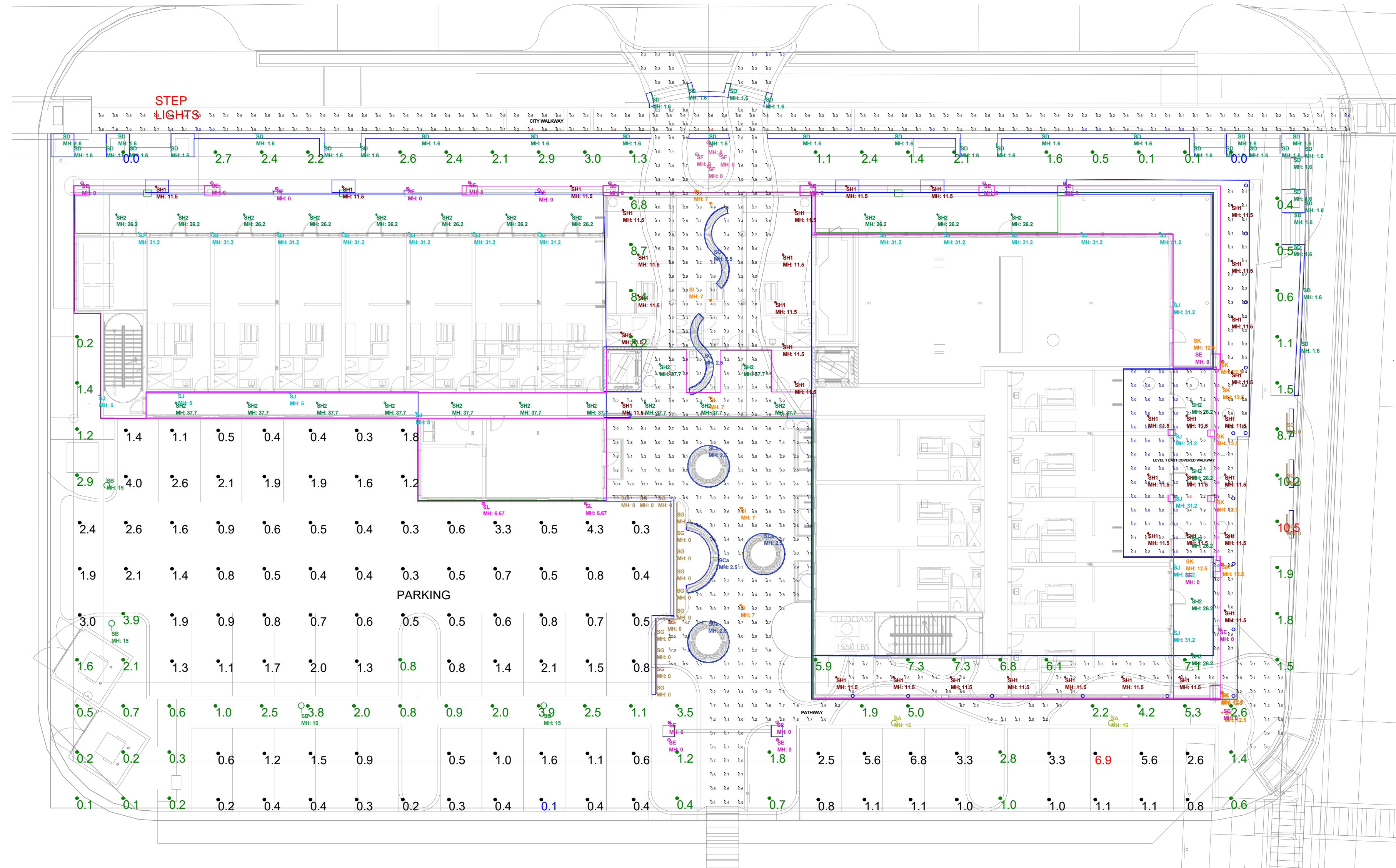


WEST ELEVATION
 SCALE: 3/32" = 1'-0"

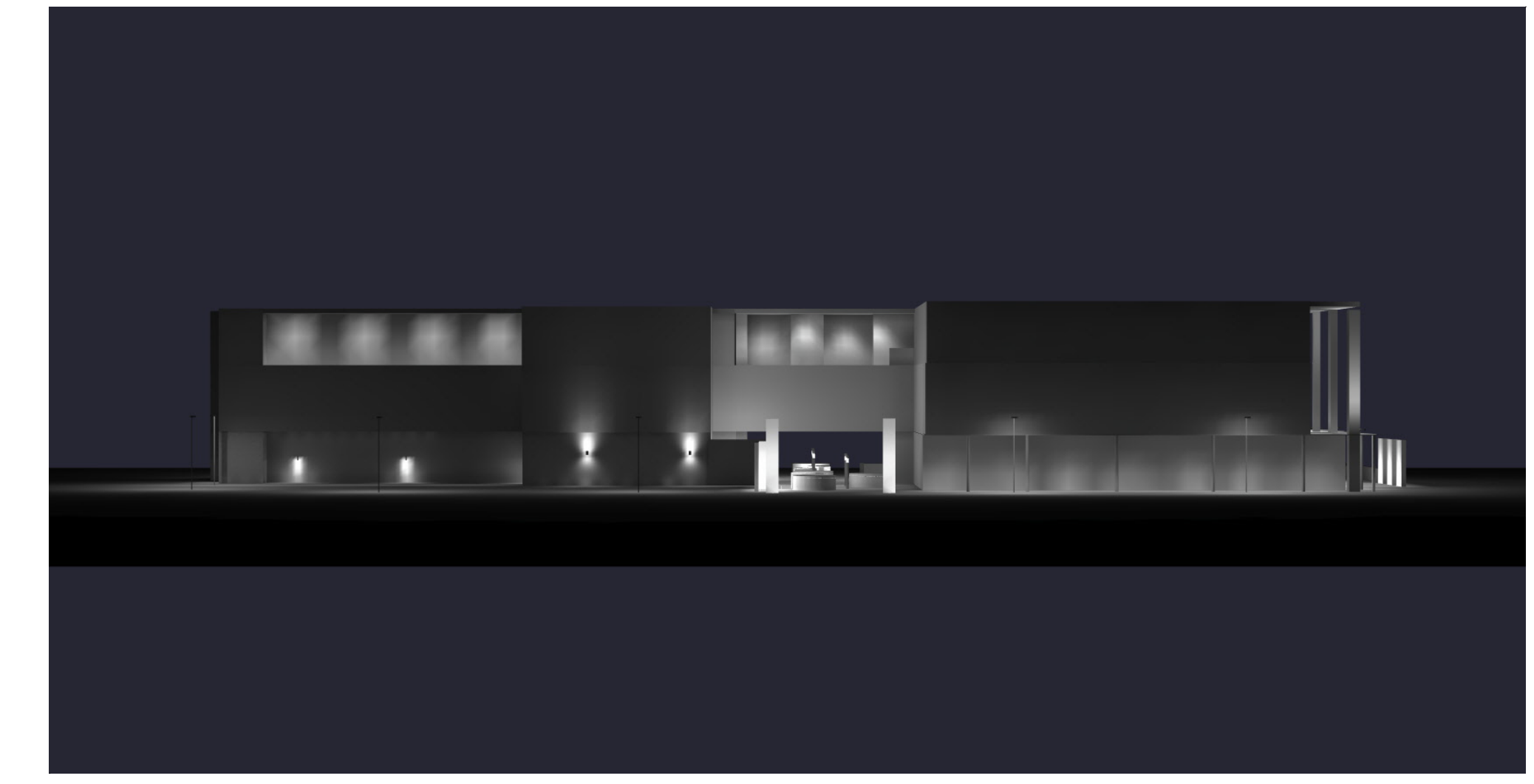
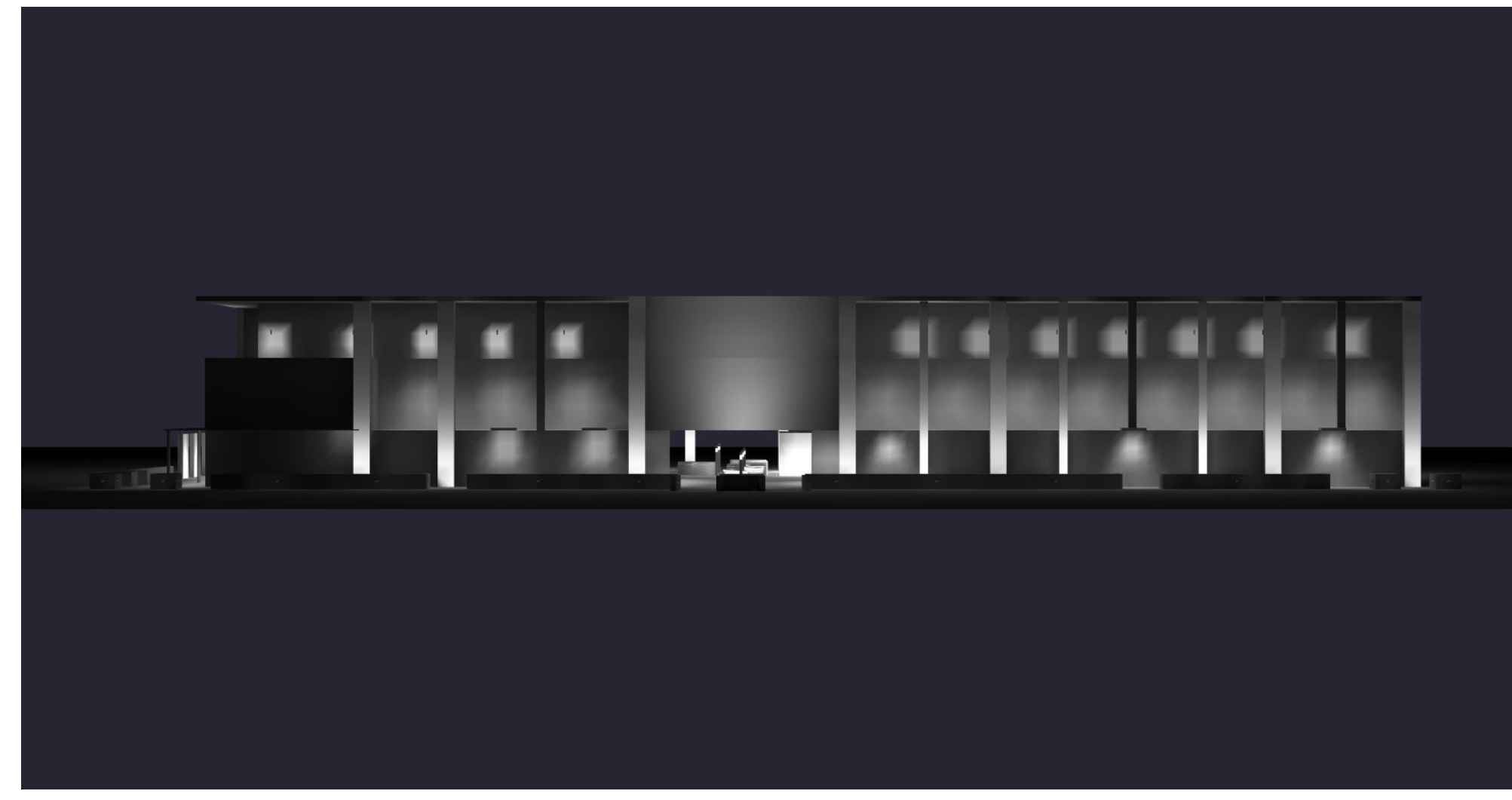
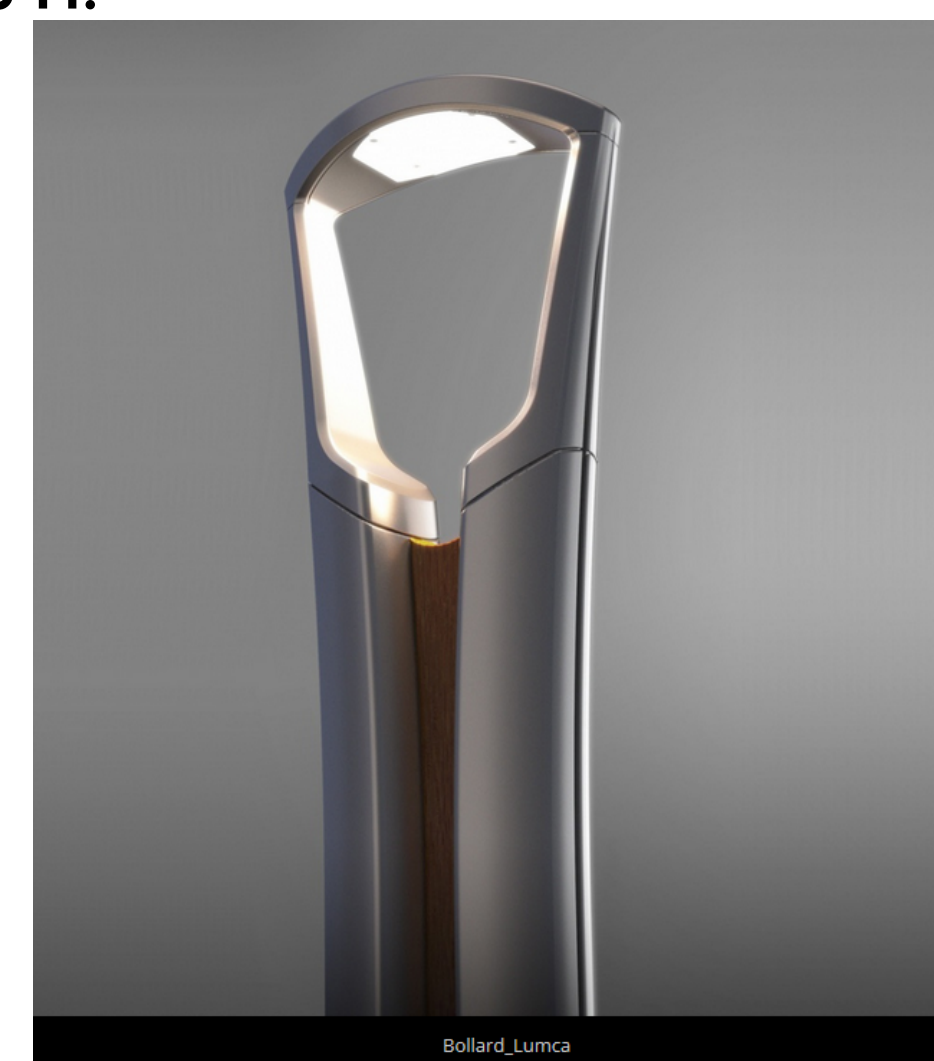
Symbol	Qty	Label	Arrangement	Lum. Lumens LLF	Luminaire Watts	Total Watts	Description
○	2	SA	Single	4128	0.900	41.8	LIO 18LED07 40W L3 30K 120 FL
○	4	SB	Single	3148	0.900	40.31	LIO 18LED07 40W-L3FL-30K 120V
○	2	SC	GROUP	N.A.	0.900	N.A.	DI-24V-SE-NBL1-27-65
○	102	SCa	Single	44	0.900	1.2	DI-24V-SE-NBL1-27-65
○	37	SD	Single	24	0.900	8	190-9036
○	18	SE	Single	2249	0.900	21	185-2591_us
○	4	SF	Single	2915	0.900	26.5	185-2723_us
○	17	SG	Single	4383	0.900	44	186-0416
○	36	SH1	Single	1006	0.900	9	4DR-TL-L10-830-DIM-UNV-OW-OF-CS
○	28	SH2	Single	1407	0.900	13.9	4DR-TL-L15-830-DIM-UNV-OW-OF-CS
○	5	SI	Single	776	0.900	8	TG-CLXX 8LED03 8W 40K L5S 120
○	21	SJ	Single	681	0.900	0	ED-LED-E65-MFL-A9-12-B
○	10	SK	Single	2144	0.900	29	145-7339 +145-9991
○	2	SL	Single	1607	0.900	31	131-9840_us

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
CITY WALKWAY	illuminance	Fc	0.45	2.4	0.0	N.A.	N.A.	0
GROUND	illuminance	Fc	2.61	10.5	0.0	N.A.	N.A.	0
LEVEL 1 EAST COVERED WALKWAY	illuminance	Fc	0.65	5.3	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY A	illuminance	Fc	1.67	9.4	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY B	illuminance	Fc	0.99	5.8	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY C	illuminance	Fc	2.34	24.1	0.0	N.A.	N.A.	26.3
LEVEL 3 CORRIDOR	illuminance	Fc	8.83	17.4	0.1	88.30	174.00	26.3
PARKING	illuminance	Fc	1.36	6.9	0.1	13.60	69.00	0
PATHWAY	illuminance	Fc	3.84	57.4	0.2	19.20	287.00	0
2ND FLOOR EXTERIOR DECK 1	illuminance	Fc	3.27	14.6	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK 1	illuminance	Fc	1.79	8.9	0.0	N.A.	N.A.	26.2
2ND FLOOR EXTERIOR DECK 2	illuminance	Fc	7.08	10.8	2.5	2.83	4.32	11.5
3RD FLOOR EXTERIOR DECK 2	illuminance	Fc	1.27	6.3	0.1	12.70	63.00	26.2
2ND FLOOR EXTERIOR DECK	illuminance	Fc	7.86	13.7	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK	illuminance	Fc	1.63	8.3	0.0	N.A.	N.A.	26.2
CORRIDOR	illuminance	Fc	6.58	13.1	2.0	3.29	6.55	26.2

TARGETING:
PARKING: 0.2 FC MIN
20:1 MAX:MIN
PROPERTY LINE: 1.0 FC MAX



View_1:SITE
Scale: 1 inch= 16 Ft.



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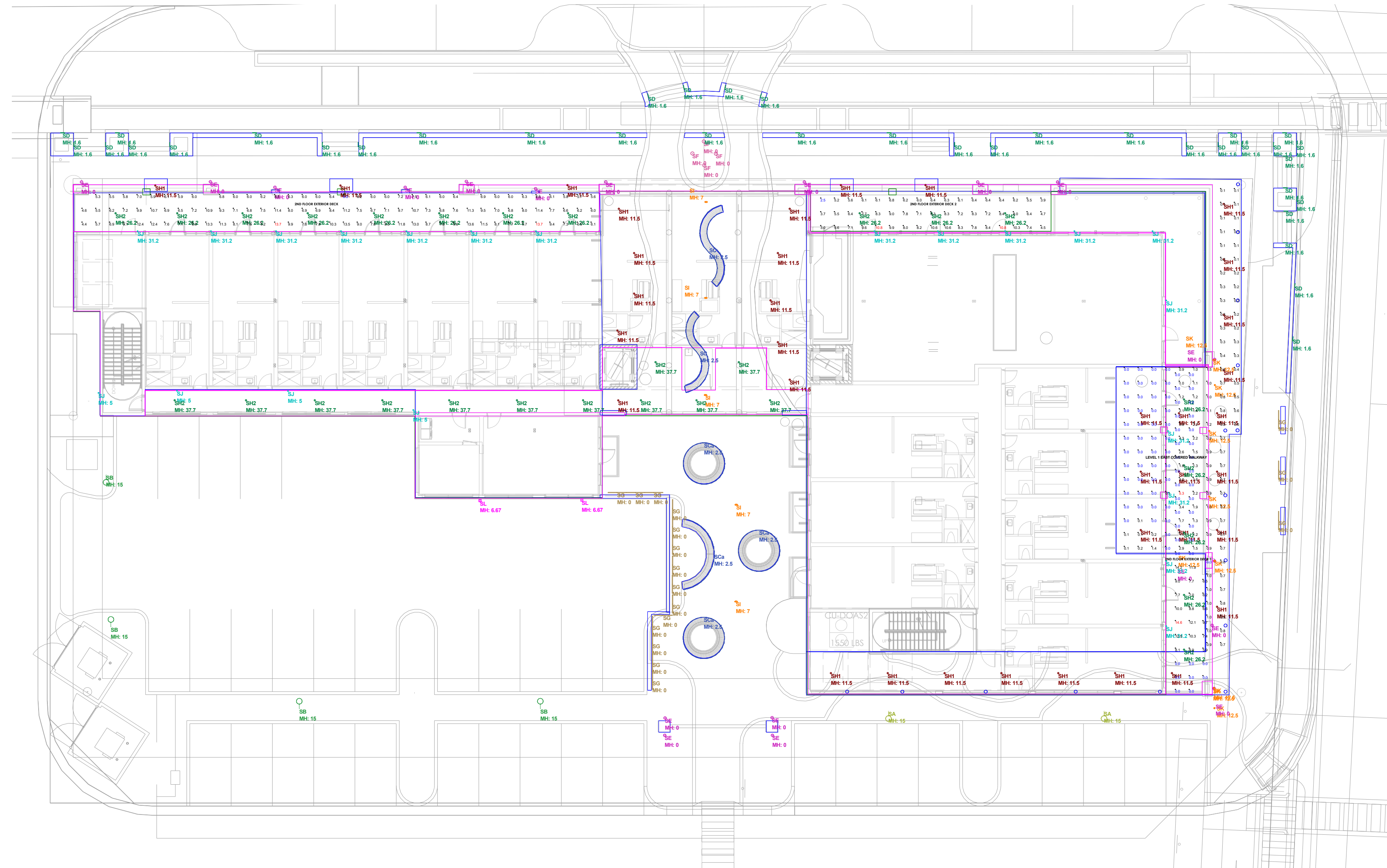
Sales Rep: BILL SNYDER
Office: FT MYERS
Contact No: (239) 229-4605
Processed By: S PENNINGTON
Filename: 2-26-2024 WYNN'S DOWNTOWN.AGI

WYNN'S DOWNTOWN

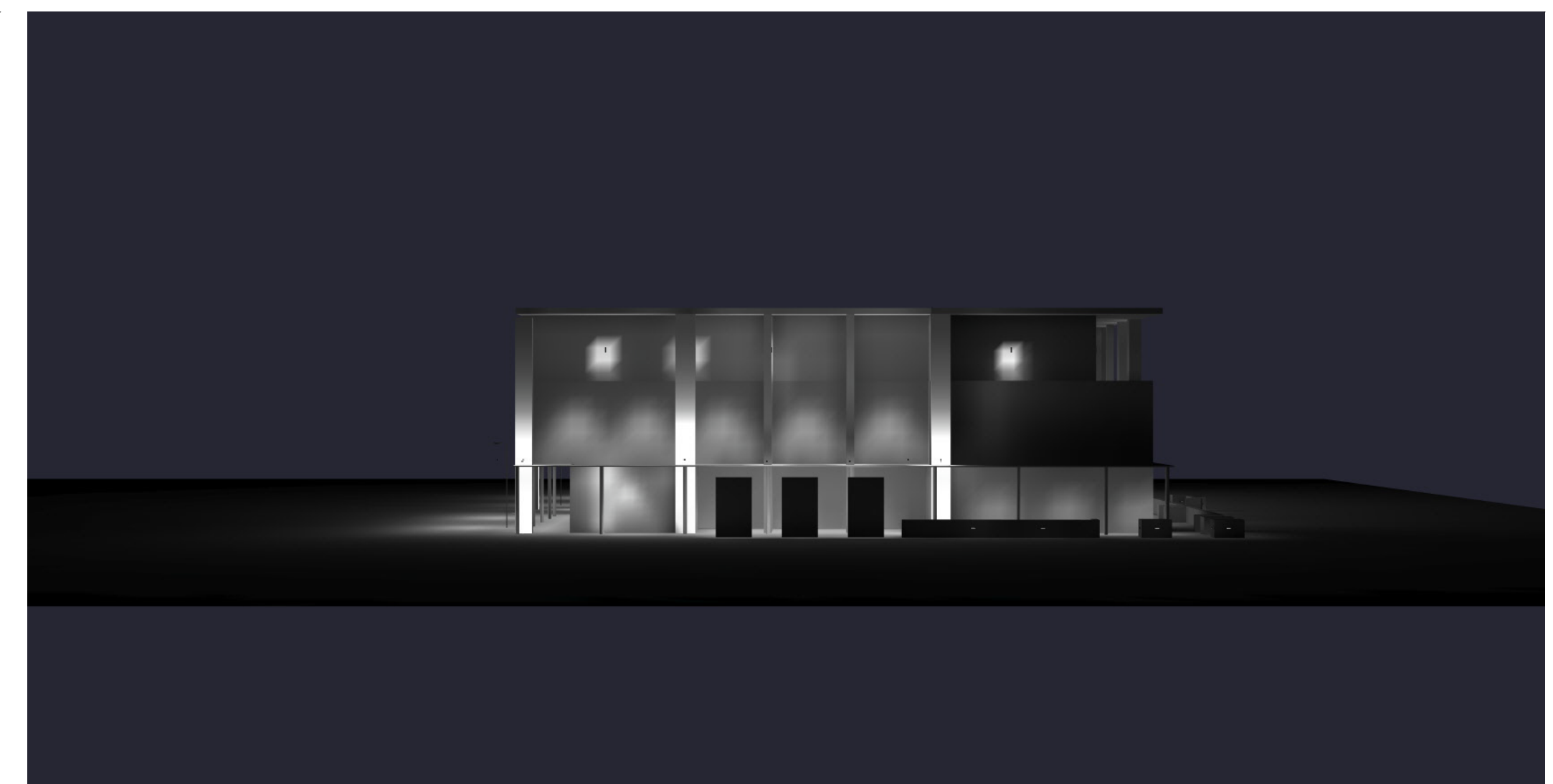
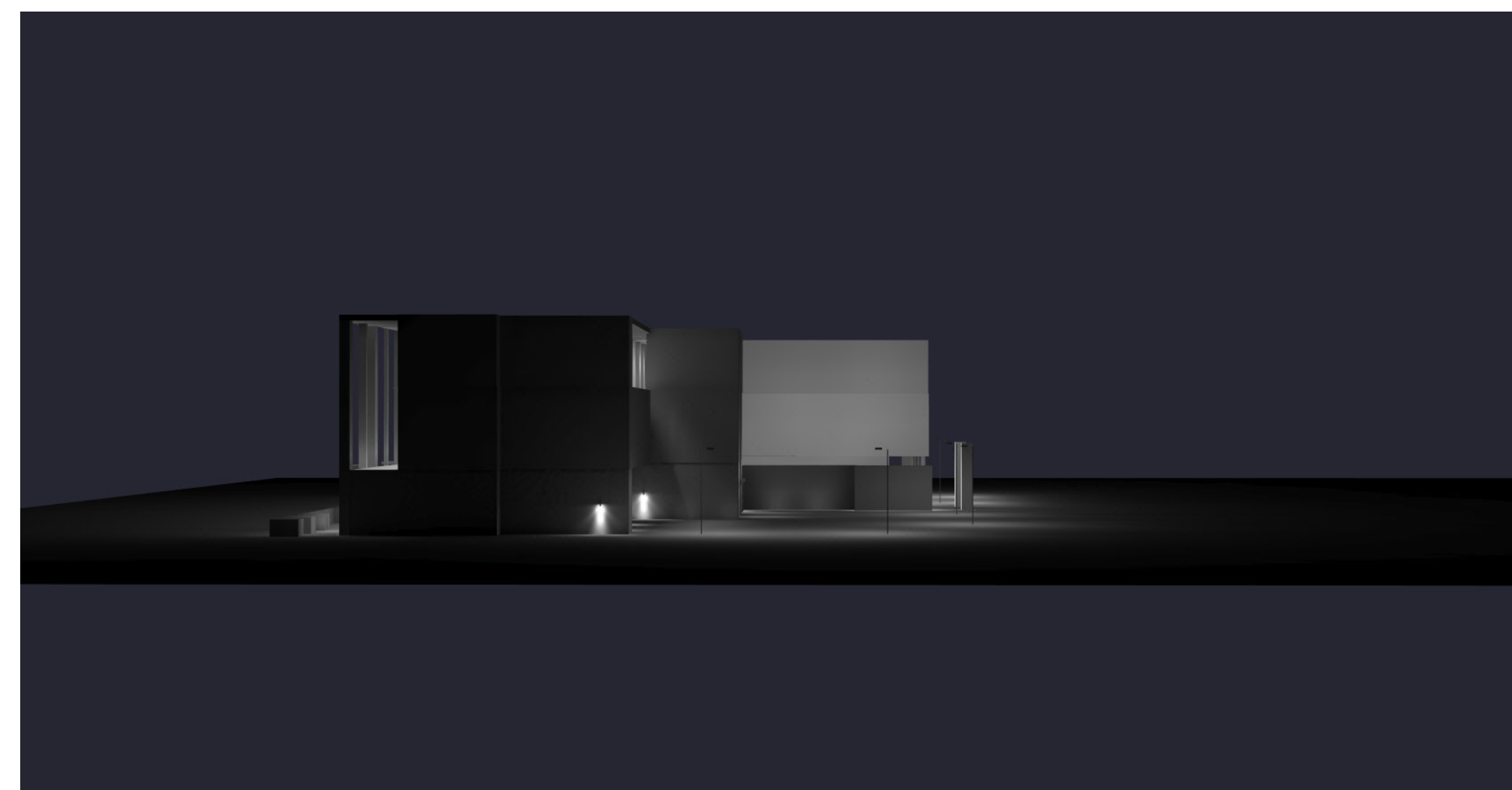
Symbol	Qty	Label	Arrangement	Lum. Lumen\$ LFF	Luminaire Watts	Total Watts	Description
○	2	SA	Single	4128	0.900	41.8	LIO 18LED07 40W L3-30K 120 FL
○	4	SB	Single	3148	0.900	40.31	LIO 18LED07 40W-L3FL-30K 120V
○	2	SC	GROUP	N.A.	0.900	N.A.	DI-24V-SE-NBL1-27-65
○	102	SCa	Single	44	0.900	1.2	DI-24V-SE-NBL1-27-65
○	37	SD	Single	24	0.900	8	190-9036
○	18	SE	Single	2249	0.900	21	185-2591_us
○	4	SF	Single	2915	0.900	26.5	185-2723_us
○	17	SG	Single	4383	0.900	44	186-0416
○	36	SH1	Single	1006	0.900	9	4DR-TL-L10-830-DIM-UNV-OW-OF-CS
○	28	SH2	Single	1407	0.900	13.9	4DR-TL-L15-830-DIM-UNV-OW-OF-CS
○	5	SI	Single	776	0.900	8	TG-CLXX 8LED03 8W 40K L55 120
○	21	SJ	Single	681	0.900	0	ED-LED-E65-MFL-A9-12-B
○	10	SK	Single	2144	0.900	29	145-7339 +145-9991
○	2	SL	Single	1607	0.900	31	131-9840_us

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
CITY WALKWAY	ILLUMINANCE	Fc	0.45	2.4	0.0	N.A.	N.A.	0
GROUND	ILLUMINANCE	Fc	2.61	10.5	0.0	N.A.	N.A.	0
LEVEL 1 EAST COVERED WALKWAY	ILLUMINANCE	Fc	0.65	5.3	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY A	ILLUMINANCE	Fc	1.67	9.4	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY B	ILLUMINANCE	Fc	0.99	5.8	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY C	ILLUMINANCE	Fc	2.34	24.1	0.0	N.A.	N.A.	26.3
LEVEL 3 CORRIDOR	ILLUMINANCE	Fc	8.83	17.4	0.1	88.30	174.00	26.3
PARKING	ILLUMINANCE	Fc	1.36	6.9	0.1	13.60	69.00	0
PATHWAY	ILLUMINANCE	Fc	3.84	57.4	0.2	19.20	287.00	0
2ND FLOOR EXTERIOR DECK 1	ILLUMINANCE	Fc	3.27	14.6	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK 1	ILLUMINANCE	Fc	1.79	8.9	0.0	N.A.	N.A.	26.2
2ND FLOOR EXTERIOR DECK 2	ILLUMINANCE	Fc	7.08	10.8	2.5	2.83	4.32	11.5
3RD FLOOR EXTERIOR DECK 2	ILLUMINANCE	Fc	1.27	6.3	0.1	12.70	43.00	26.2
2ND FLOOR EXTERIOR DECK	ILLUMINANCE	Fc	7.86	13.7	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK	ILLUMINANCE	Fc	1.43	8.3	0.0	N.A.	N.A.	26.2
CORRIDOR	ILLUMINANCE	Fc	6.58	13.1	2.0	3.29	6.55	26.2

TARGETING:
 PARKING: 0.2 FC MIN
 20:1 MAX:MIN
 PROPERTY LINE: 1.0 FC MAX



FLOOR 2:SITE
 Scale: 1 inch= 16 Ft.



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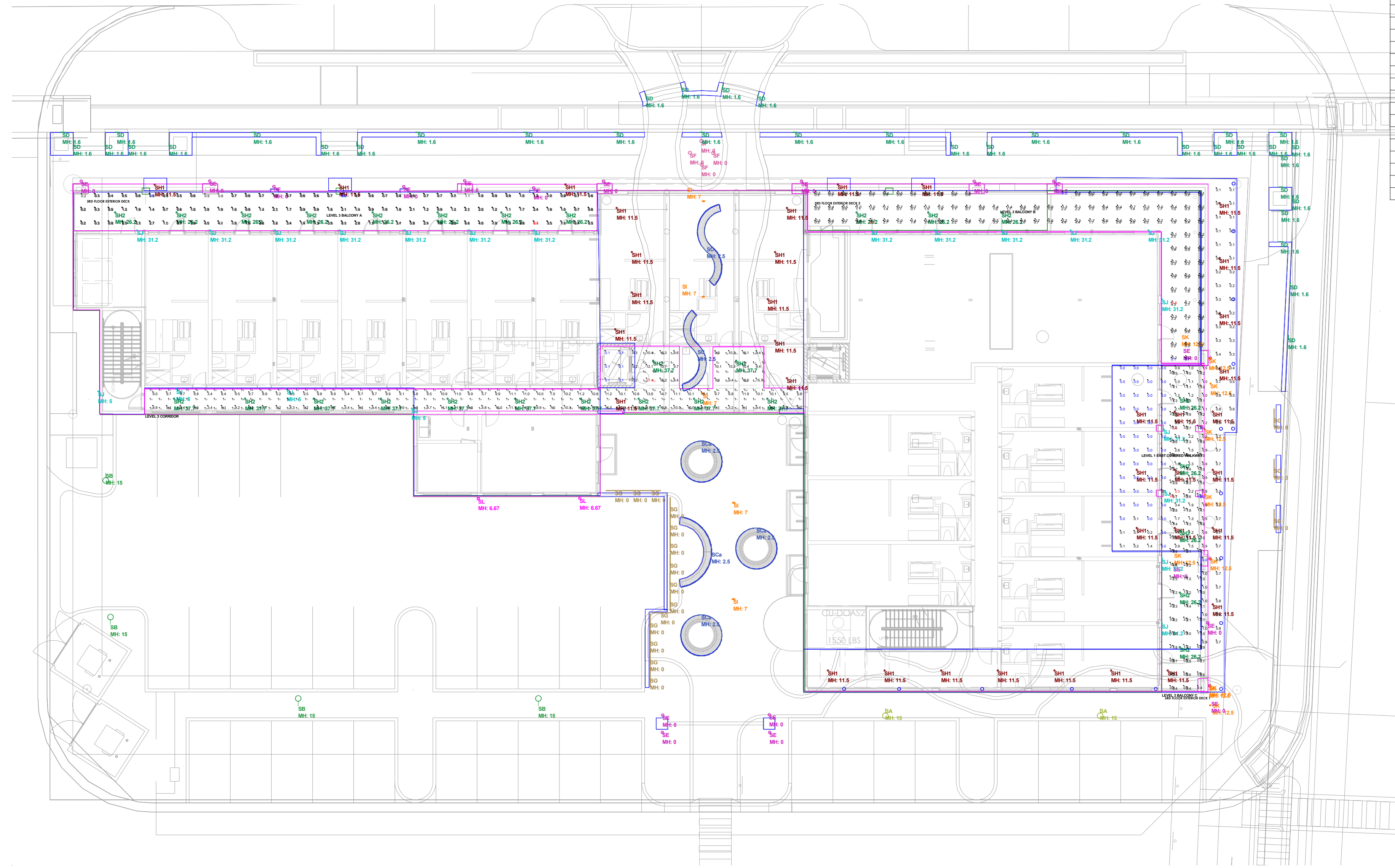
Sales Rep: BILL SNYDER
 Office: FT MYERS
 Contact No: (239) 229-4605
 Processed By: S PENNINGTON
 Filename: 2-26-2024 WYNN'S DOWNTOWN.AGI

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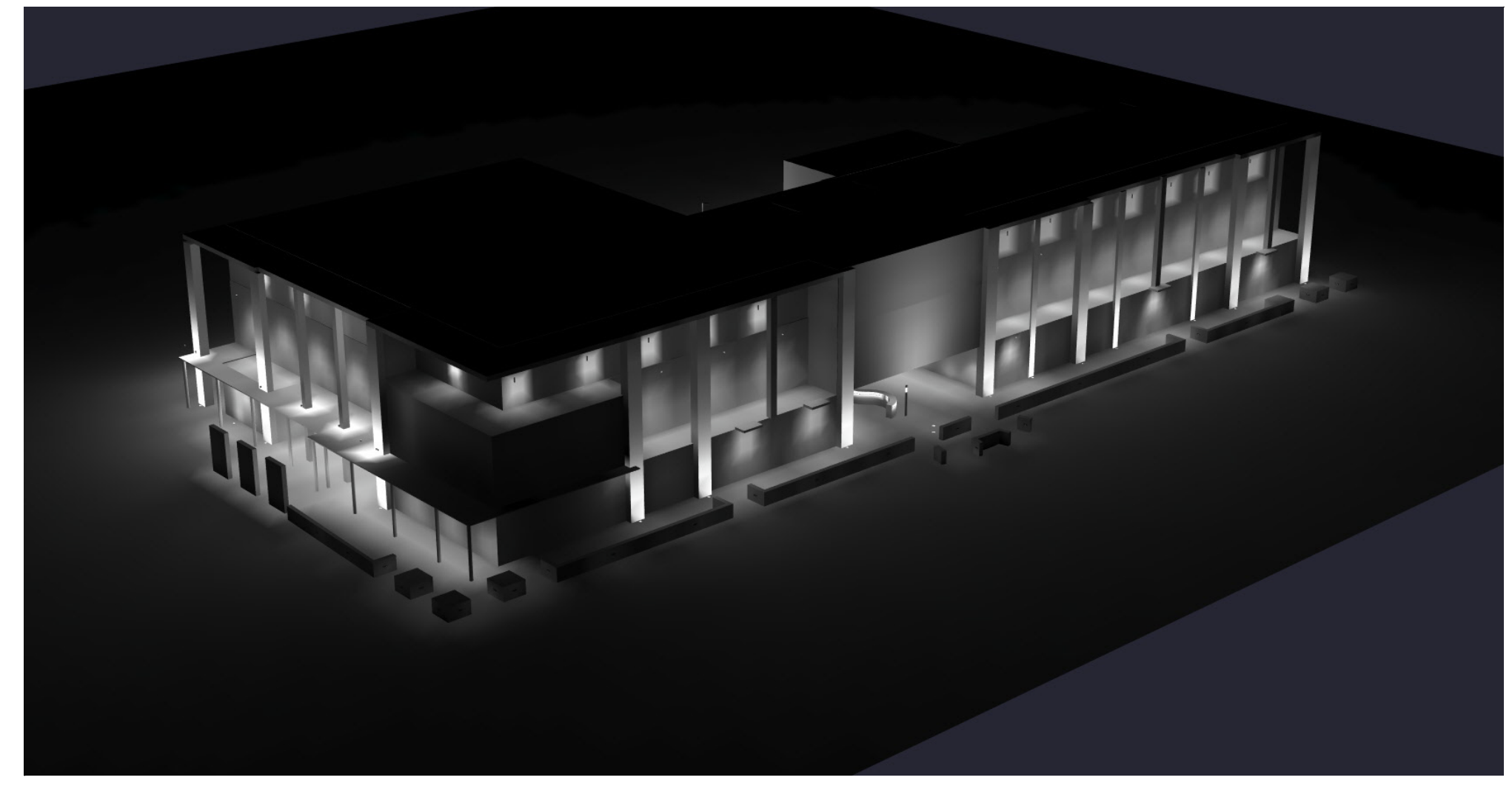
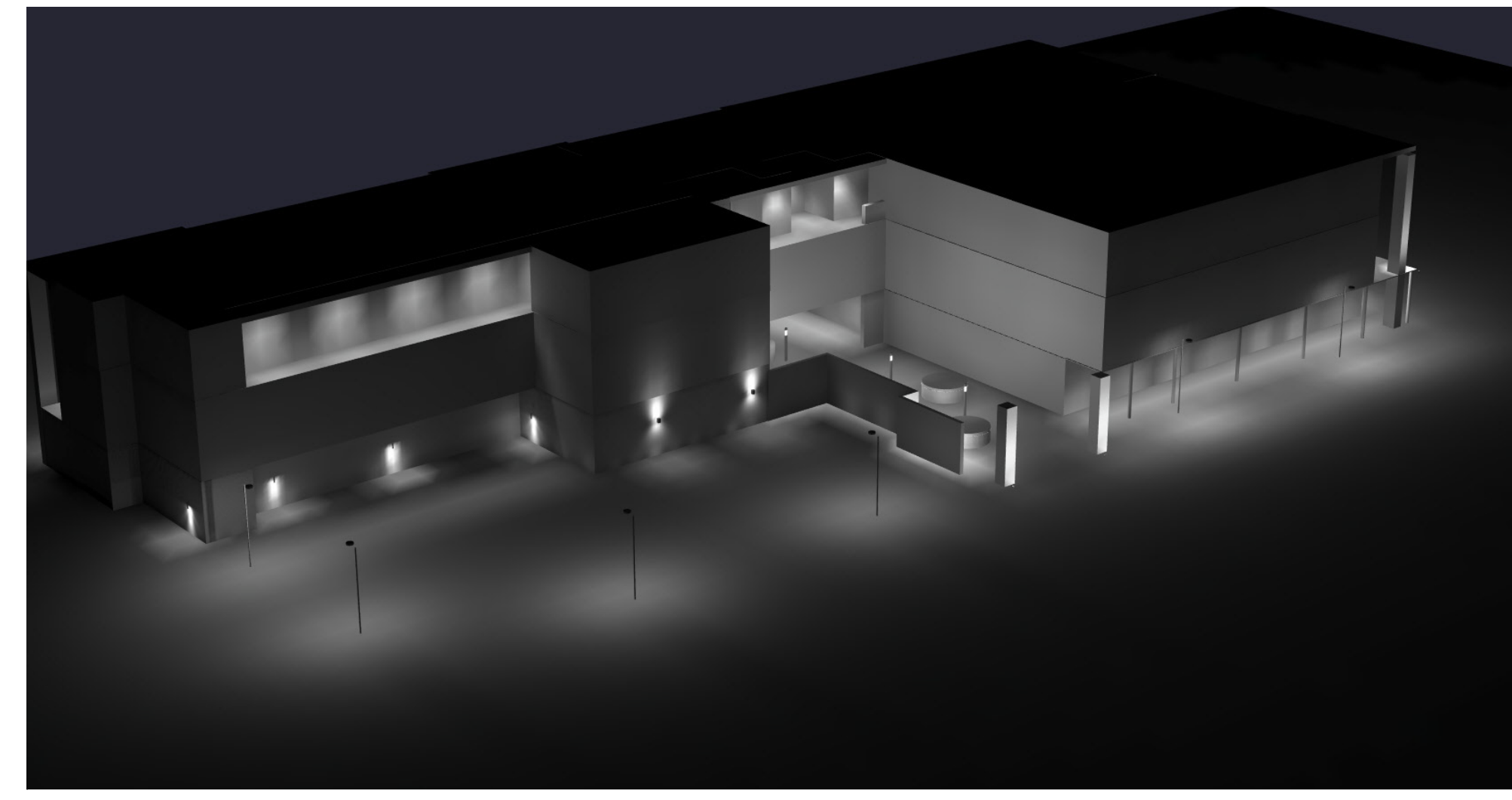
Symbol	Qty	Label	Arrangement	Lum. Lumen\$ LFF	Luminaire Watts	Total Watts	Description
○	2	SA	Single	4128	0.900	41.8	83.6
○	4	SB	Single	3148	0.900	40.31	161.24
○	2	SC	GROUP	N.A.	0.900	N.A.	98.4
○	102	SCa	Single	44	0.900	1.2	122.4
○	37	SD	Single	24	0.900	8	296
○	18	SE	Single	2249	0.900	21	378
○	4	SF	Single	2915	0.900	26.5	106
○	17	SG	Single	4383	0.900	44	748
○	36	SH1	Single	1006	0.900	9	324
○	28	SH2	Single	1407	0.900	13.9	389.2
○	5	SI	Single	776	0.900	8	40
○	21	SJ	Single	681	0.900	0	0
○	10	SK	Single	2144	0.900	29	290
○	2	SL	Single	1607	0.900	31	62

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
CITY WALKWAY	Illuminance	Fc	0.45	2.4	0.0	N.A.	N.A.	0
GROUND	Illuminance	Fc	2.61	10.5	0.0	N.A.	N.A.	0
LEVEL 1 EAST COVERED WALKWAY	Illuminance	Fc	0.65	5.3	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY A	Illuminance	Fc	1.67	9.4	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY B	Illuminance	Fc	0.99	5.8	0.0	N.A.	N.A.	26.3
LEVEL 3 BALCONY C	Illuminance	Fc	2.34	24.1	0.0	N.A.	N.A.	26.3
LEVEL 3 CORRIDOR	Illuminance	Fc	8.83	17.4	0.1	88.30	174.00	26.3
PARKING	Illuminance	Fc	1.36	6.9	0.1	13.60	69.00	0
PATHWAY	Illuminance	Fc	3.84	57.4	0.2	19.20	287.00	0
2ND FLOOR EXTERIOR DECK 1	Illuminance	Fc	3.27	14.6	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK 1	Illuminance	Fc	1.79	8.9	0.0	N.A.	N.A.	26.2
2ND FLOOR EXTERIOR DECK 2	Illuminance	Fc	7.08	10.8	2.5	2.83	4.32	11.5
3RD FLOOR EXTERIOR DECK 2	Illuminance	Fc	1.27	6.3	0.1	12.70	63.00	26.2
2ND FLOOR EXTERIOR DECK	Illuminance	Fc	7.86	13.7	0.0	N.A.	N.A.	11.5
3RD FLOOR EXTERIOR DECK	Illuminance	Fc	1.63	8.3	0.0	N.A.	N.A.	26.2
CORRIDOR	Illuminance	Fc	6.58	13.1	2.0	3.29	6.55	26.2

TARGETING:
PARKING: 0.2 FC MIN
20:1 MAX:MIN
PROPERTY LINE: 1.0 FC MAX



FLOOR 3:SITE
Scale: 1 inch= 16 Ft.



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