

CENTRE POINTE

DESIGN TEAM

Architect: MHK Architecture
 Landscape Architect: Architectural Land Design, Inc.
 Developer: Ferrari Associates

PROJECT LOCATION

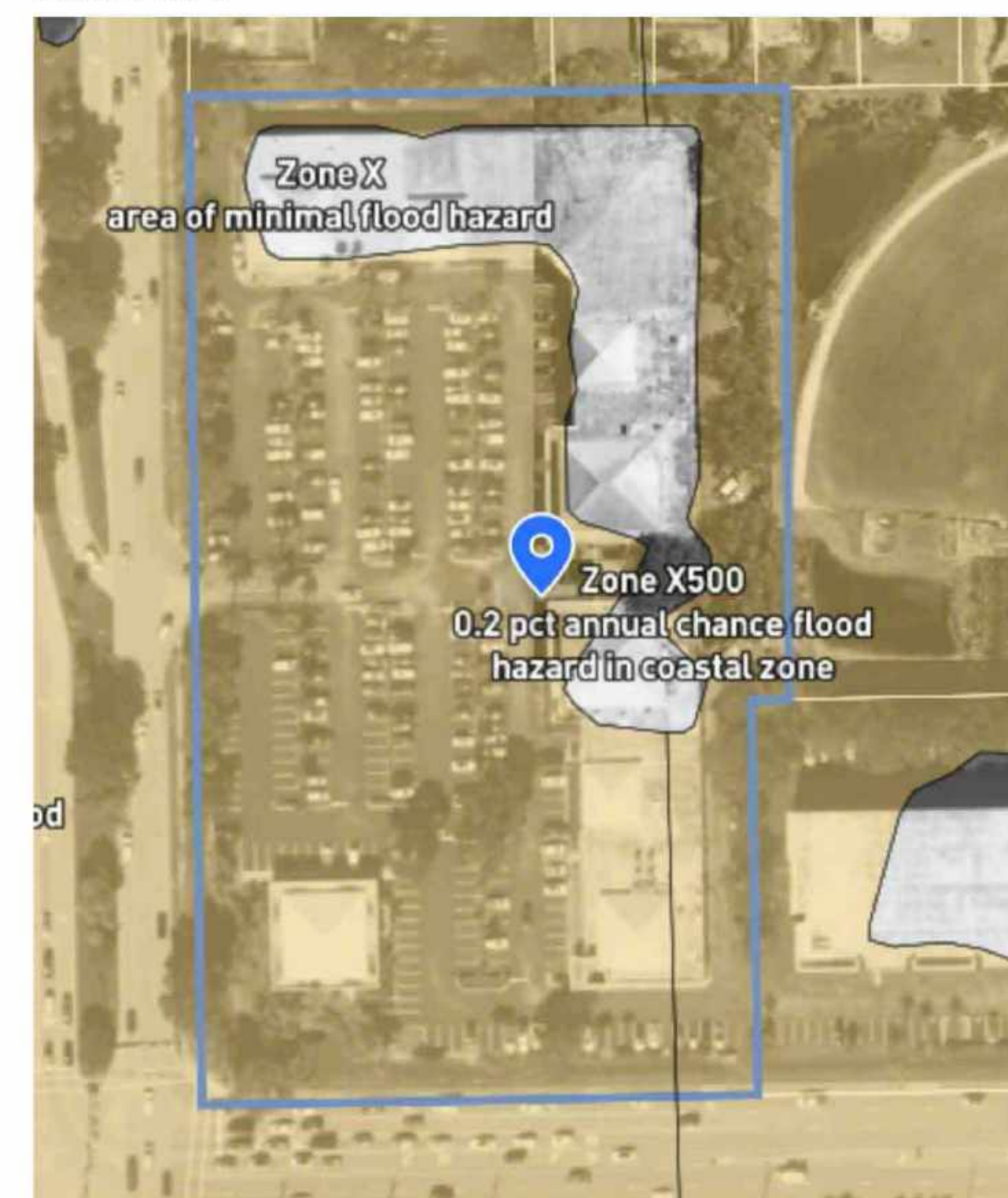
Gateway Shopping Center
 US 41/Tamiami Trail
 Naples, Florida

SHEET INDEX

HARDSCAPE

- L0 EXISTING CONDITIONS PLAN
- L0a EXISTING CONDITIONS PLAN - PHOTOS
- L1 SITE BUFFER / LANDSCAPE REQUIREMENTS
- L2 SITE ENLARGEMENT PLAN
- L3 ENTRY WATER FEATURE PLAN
- L4 COURTYARD WATER FEATURE PLAN
- L5 ENTRY SIGNAGE PLAN
- L6 OVERALL PLANTING PLAN
- L7 NORTHWEST PLANTING PLAN
- L8 NORTHEAST PLANTING PLAN
- L9 SOUTHWEST PLANTING PLAN
- L10 SOUTHEAST PLANTING PLAN
- L11 PLANT PICS
- L12 PLANTING DETAILS AND SPECIFICATIONS

FEMA MAP



STREET TREE MAP

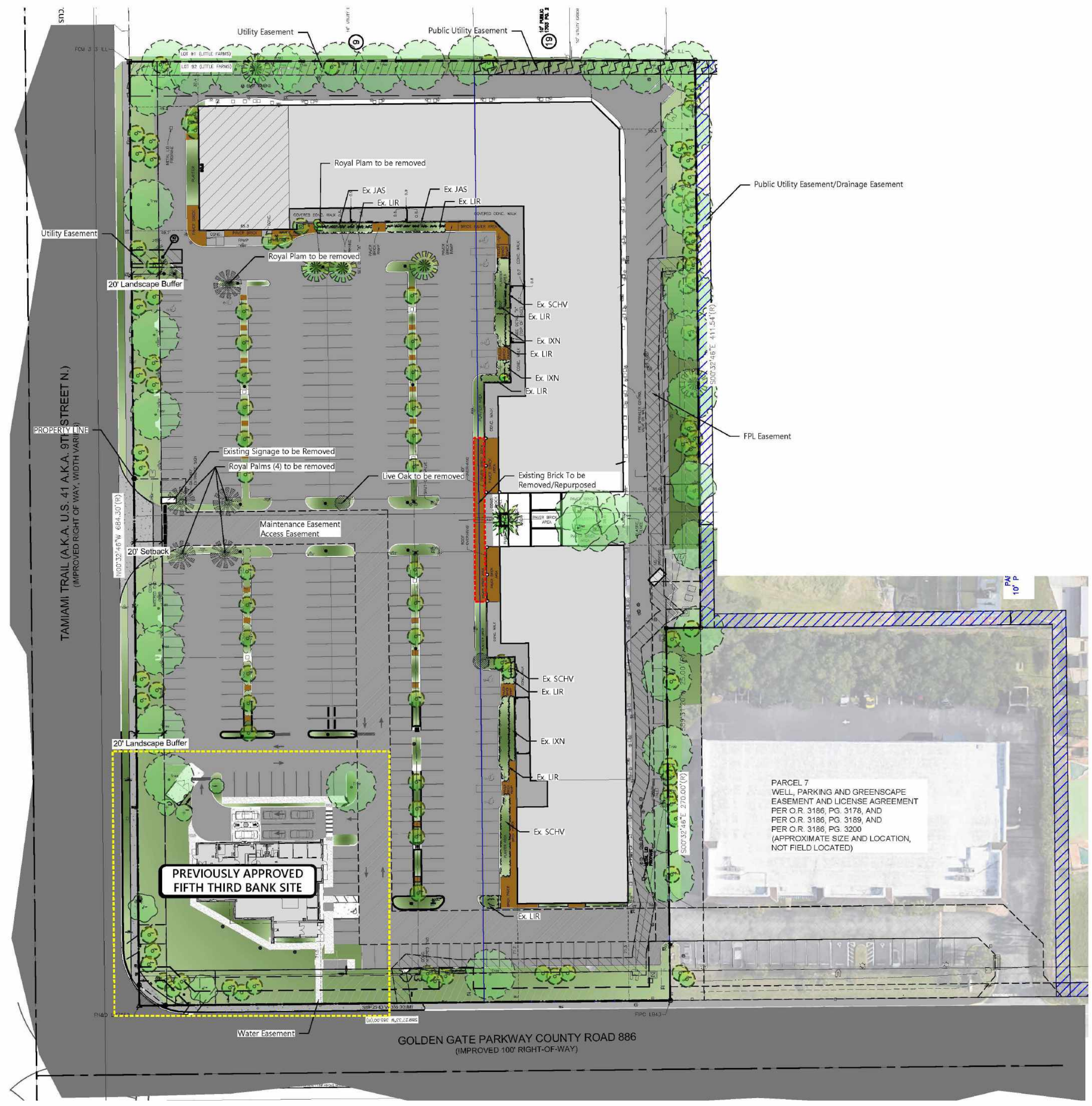


AERIAL

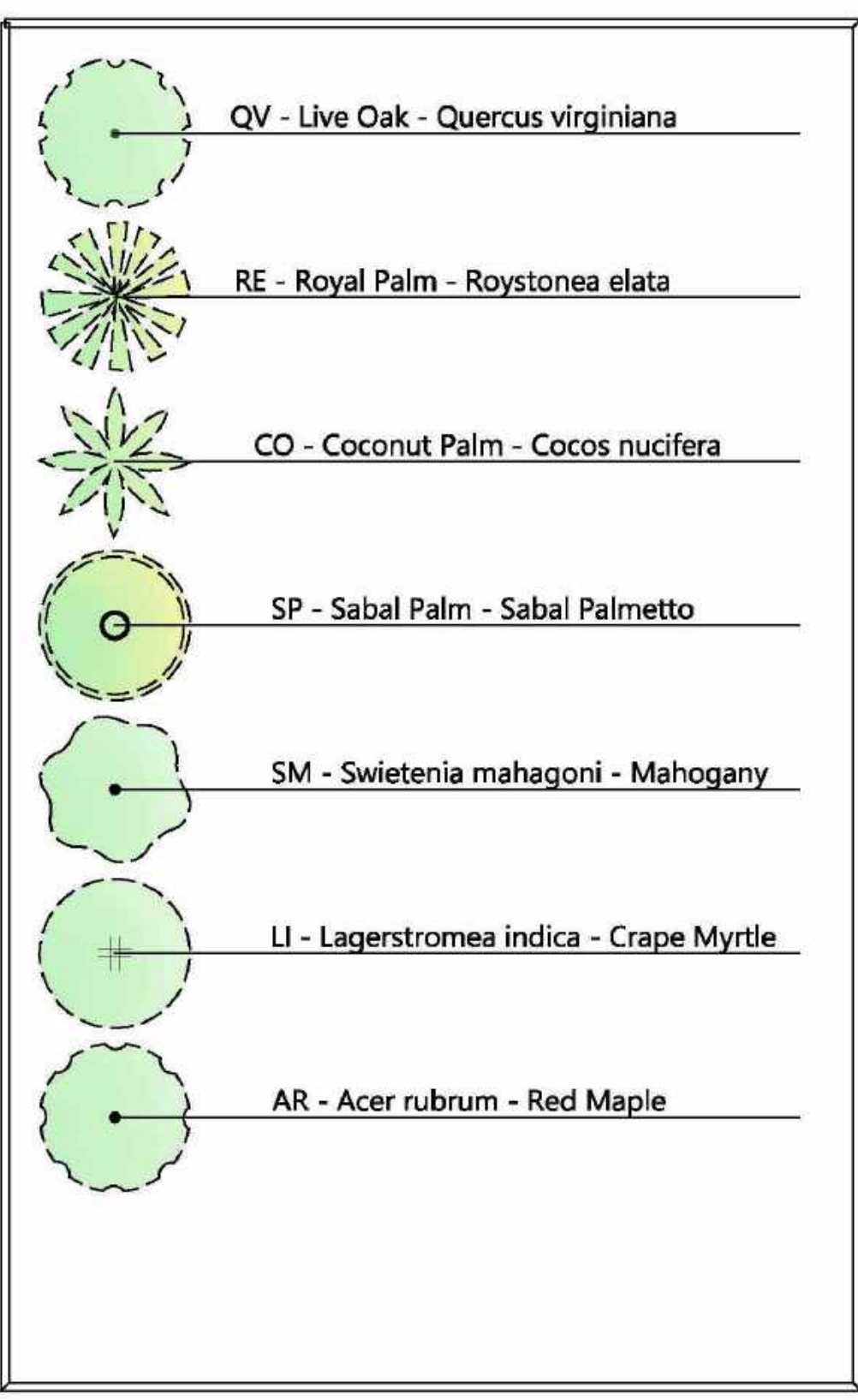


www.aldinc.net
 2780 S. Horseshoe Drive, Suite 5
 Naples, FL 34104
 Phone: (239) 430-1661
 Fax: (239) 430-1664
 e-mail: design@aldinc.net

1,331,660 Naples Gateway Shopping Center, LLC, Project #23-060-0h.dwg, Revised: 10/23/23, 10:45 AM, by: Kaden Hubicki
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the correct current plan. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of Architectural Land Design. This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.



Existing Plant Legend



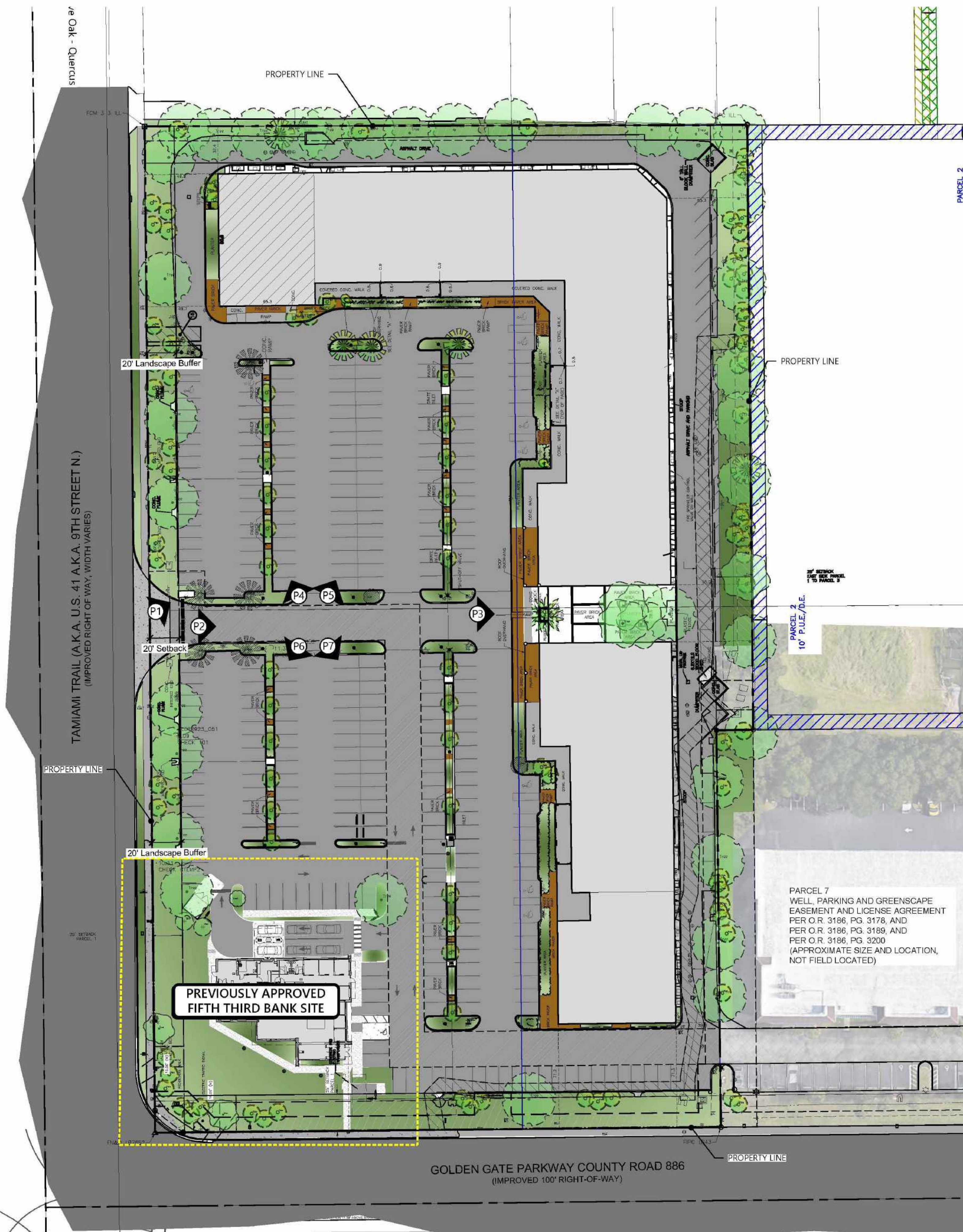
CENTRE POINTE
Naples, FL
EX. CONDITIONS PLAN

Sheet L4 Drawing Date: 10/23/23 PM 06:27:23
 Scale: 1"=40'-0"
 File Name: 23-060-0h.dwg
 Architectural Information Provided By: [Blank]
 Company Name: [Blank]
 File Name: [Blank]
 Date: [Blank]
 Site Information Provided By: RWA Consulting
 Company Name: RWA Consulting
 File Name: CR7-ALA sent
 Date: 10/13/23

LO

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

1,331 660 Naples Gateway Shopping Center, LLC. Project No. 23-060-0h. Prepared: 10/23/23. 1:45 PM. By: Kristen Hubbell
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most current plans. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without
 This Document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.



Contractor to verify property lines and setbacks before construction.
 Contractor must have property lines staked and located, and must verify plan
 dimensions and field conditions are consistent.
 Any Inconsistencies w/ these plans need to be reported to ALD and the Owner.
 Contractor shall verify that he has the most up to date plans, and that they
 have been approved and accepted by the Owner before commencing construction.

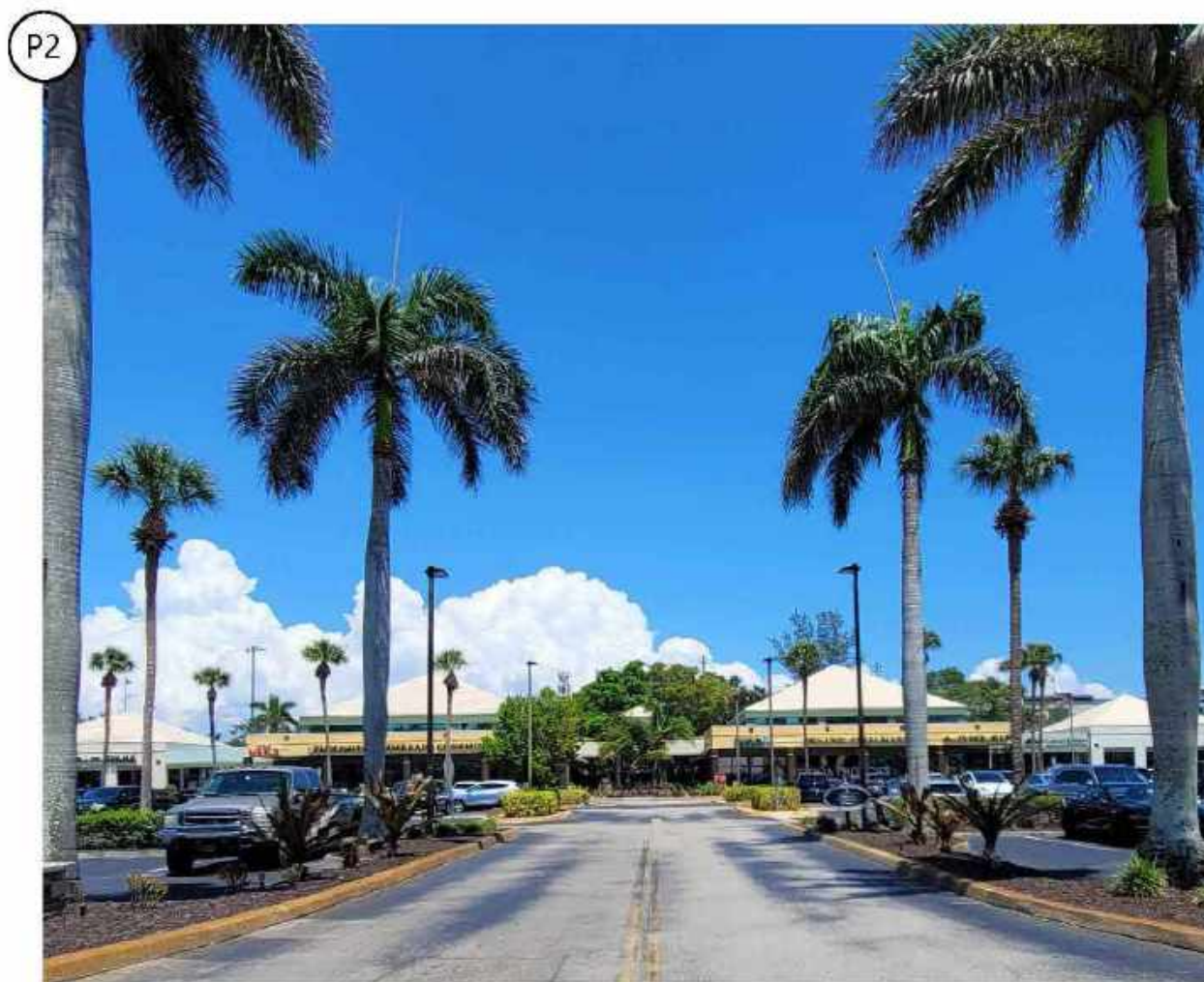
Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

EXISTING ENTRY SIGNAGE



EXISTING SITE LANDSCAPE (NORTH)

EXISTING ENTRANCE



EXISTING SITE LANDSCAPE (LOOKING NORTH)



EXISTING SITE LANDSCAPE (LOOKING SOUTH)



**ARCHITECTURAL
 LAND DESIGN
 INCORPORATED**
 LANDSCAPE ARCHITECTURE
 2780 S. Horseshoe Drive Suite 5
 Naples, FL 34104
 (239) 430-1661
 Design@ALDinc.net
 License LC26000259

License No. 1178
 George Imhaber, Landscape Architect

CENTRE POINTE
 Naples, FL
EX. CONDITIONS PLAN - PHOTOS

Sheet L4
 Drawing Date: 10/23/23
 Scale: 1"=40'-0"
 23-060
 File Name: 23-060-0h.dwg
 Architectural Information Provided By:
 Company Name: ALD
 File Name: L0a
 Date: 10/23/23
 Site Information Provided By:
 Company Name: RWA Consulting
 File Name: CR7-ALD.rvt
 Date: 10/12/23

L0a

Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the contractor's responsibility to verify that he has the correct current plan. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of Architectural Land Design. This document contains information proprietary to Architectural Land Design and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

Landscape Required:

Number of Parking Spaces:	330
Area of Landscaping Required for each Parking Space:	20 sf
Site Landscaping Required:	20 sf x 330 Parking Spaces = 6600 sf
Number of Trees Required:	6600 sf / 100 sf = (66 Trees)
Linear Feet of Property Adjacent to ROW:	598 Linear ft. (not including drive isles)
Number of Trees Required along ROW:	598 Linear ft. / 30 linear ft. = 19.9 Trees
Total Trees Provided Adjacent to ROW:	20+ Trees (Trees are subject to Overhead Power Lines)
(24" Tall Hedge to be installed where vehicular use is adjacent to ROW)	
Linear Feet of Property Adjacent Commercial:	519 Linear ft. (not including drive isles)
Number of Trees Required:	519 Linear ft. / 50 linear ft. = 10 Trees
Total Trees Provided Adjacent to Commercial:	10+ Trees (Trees are subject to Overhead Power Lines)
Linear Feet of Property Adjacent to Residential/Institutional:	571 Linear ft. (not including drive isles)
Number of Trees Required:	571 Linear ft. / 50 linear ft. = 12 Trees
Total Trees Provided Adjacent to Residential/Institute:	12+ Trees (Subject to Overhead Power Lines)
(36" Tall Hedge to be installed where vehicular use is adjacent to Residential/Institutional uses, Hedge to reach 6' in height within 2 year time period of planting)	
Total Number of Trees Required on Site per Landscape Code	108 Total Trees
Number of Trees Provided (on Entire Site)	108+ Total "Trees" as defined by Code

Landscape Buffer Notes

- Gateway Planned Development ORDINANCE 01-9098
- 4.8 Minimum Offstreet Parking
 - (a) Parcel 1 and Alternate Parcel 1: 5.5 spaces per 1000 square feet of Gross Leasable area (GLA) for retail or restaurant use. 1 space per 300 square feet of (GLA) for office or banking use occupying separate buildings
 - (b) Parcel 2: Parking shall be as required by the City of Naples Comprehensive Development Code in effect on the date of approval of the Development Agreement.

Req'd Tree Legend:

- RCT = Required Canopy Trees
 RBT = Required Buffer Trees
 Trees not labeled are not required



10' Landscape Strip
 1 Tree Required per 50'
 160' / 50' = 3.2
 4 Trees Provided
 (36" Tall Hedge)

10' Landscape Strip
 1 Tree Required per 50'
 411' / 50' = 8.2
 15 Trees Provided
 (36" Tall Hedge)

10' Landscape Strip
 1 Tree Required per 50'
 270' / 50' = 5.4
 6 Trees Provided

Landscape Buffer Urban Pkwy
 10' Landscape Strip
 1 Tree Required per 30'
 213' / 30' = 7.1
 8 Trees Provided
 (36" Tall Hedge)

10' Landscape Strip
 1 Tree Required per 50'
 249' / 50' = 4.9
 6 Trees Provided

Landscape Buffer US 41
 6' Landscape Strip
 1 Tree Required per 30'
 492-107' / 30' = 12.8
 17 Trees Provided
 (36" Tall Hedge)



ARCHITECTURAL LAND DESIGN INCORPORATED
 LANDSCAPE ARCHITECTURE
 2780 S. Horseshoe Drive Suite 5
 Naples, FL 34104
 (239) 430-1661
 Design@ALDinc.net
 License LC26000259
 Christian Andrea

License No. 1178

CENTRE POINTE
 Naples, FL
 SITE BUFFER / LANDSCAPE REQUIREMENTS

Sheet L4 PM 10:23:23
 Drawing Date: PM 06:27:23

Scale: 1"=30'-0"

23-060



File Name: 23-060-0h.dwg

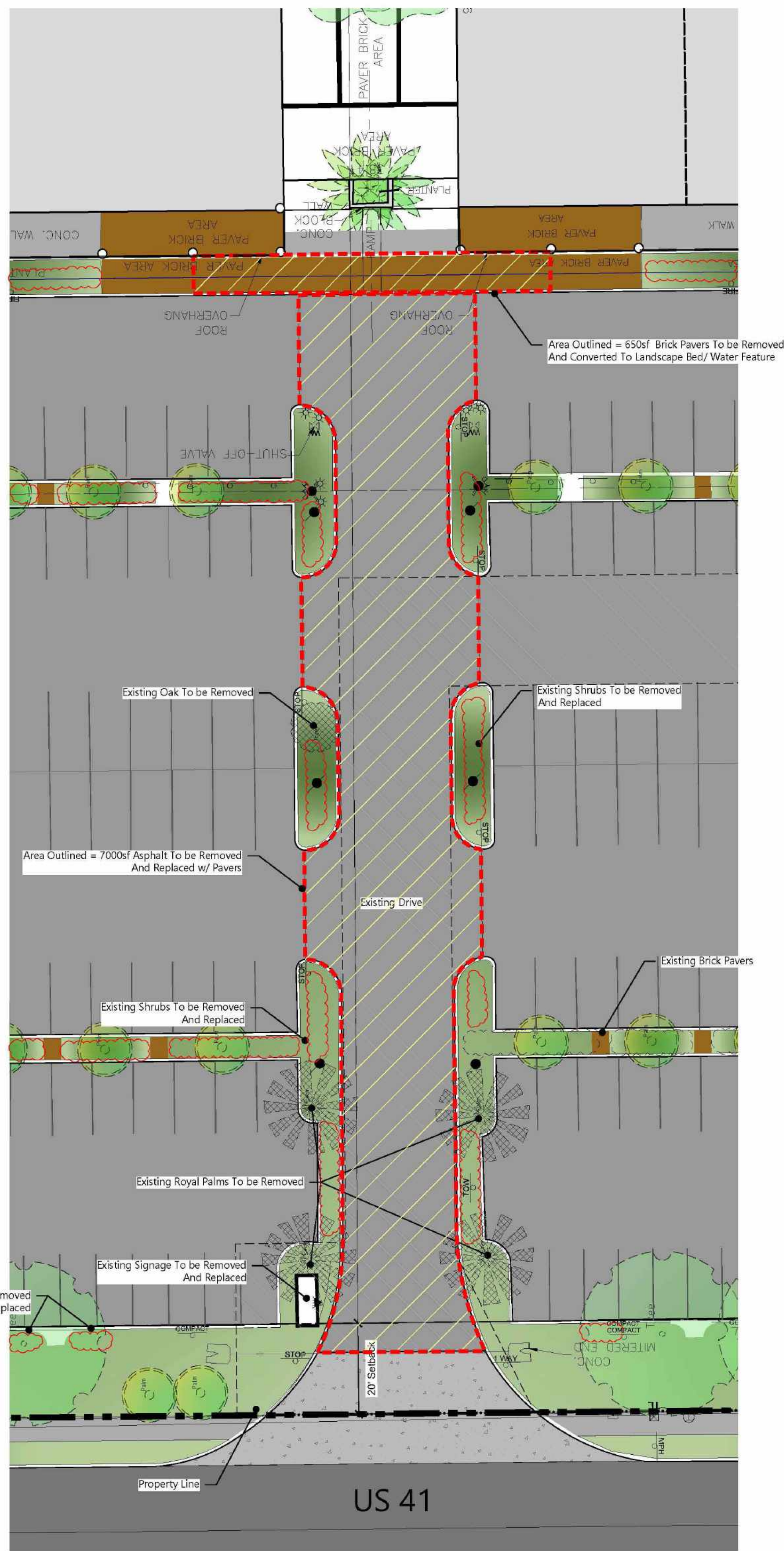
Architectural Information Provided By: _____
 Company Name: _____
 File Name: _____
 Date: _____
 Site Information Provided By: RWA Consulting
 Company Name: RWA Consulting
 File Name: RCT-ALD1A.dwg
 Date: 06/15/23

L1

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

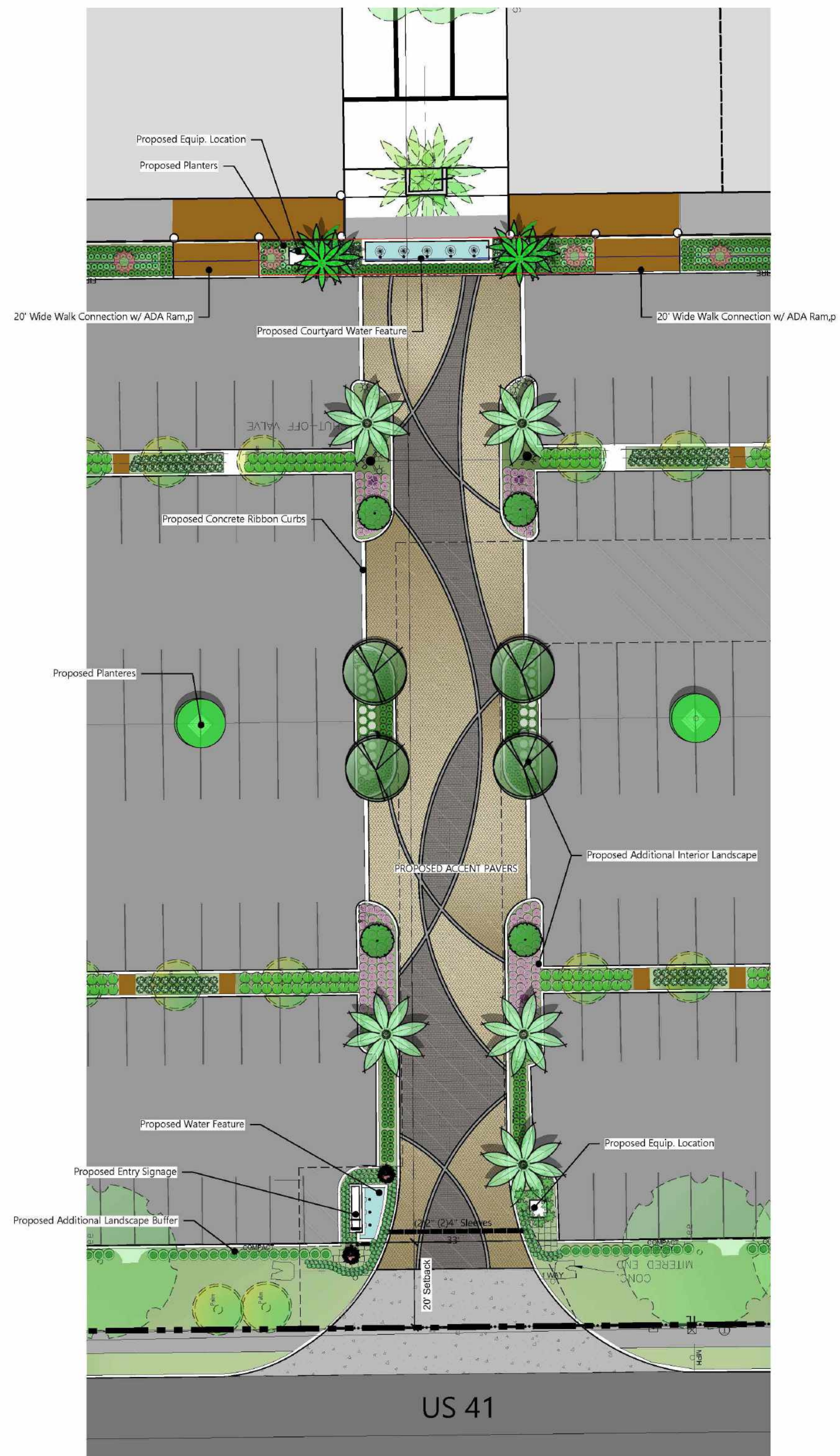
L123-060 Naples Gateway Shopping Center (ALD) Phase 251-060-01.dwg, Printed on 10/23/2023 / 10:53 AM by Kaitlin Haskeli
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. * All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most current plan. * Contractor shall not scale from plan, use dimensions only. * These plans are the property of Architectural Land Design and may not be used or reproduced without authorization.
 This Document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

Existing Site Plan



Contractor to verify property lines and setbacks before construction.
 Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.
 Any Inconsistencies w/ these plans need to be reported to L123 and the Owner.
 Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Proposed Site Plan



Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.



**ARCHITECTURAL
LAND DESIGN
INCORPORATED**

LANDSCAPE ARCHITECTURE

2780 S. Horseshoe Drive Suite 5
 Naples, FL 34104
 (239) 430-1661

Design@ALDinc.net

License LC26000259

Christian Andrea

License No. 1178

Copyright Architectural Land Design ©

CENTRE POINTE
 Naples, FL
SITE ELARGEMENT COMPARISON PLAN

A1 Sheet L4 PM 10:23:23
 Drawing Date: PM 06:27:23

Scale: 1/16" = 1'-0"

23-060



File Name: 23-060 0h.dwg

Architectural Information Provided By: _____
 Company Name: _____
 File Name: _____
 Date: _____

Site Information Provided By: RWA Consulting
 Company Name: RWA Consulting
 File Name: CR1-ALIA_sert
 Date: 06/15/23

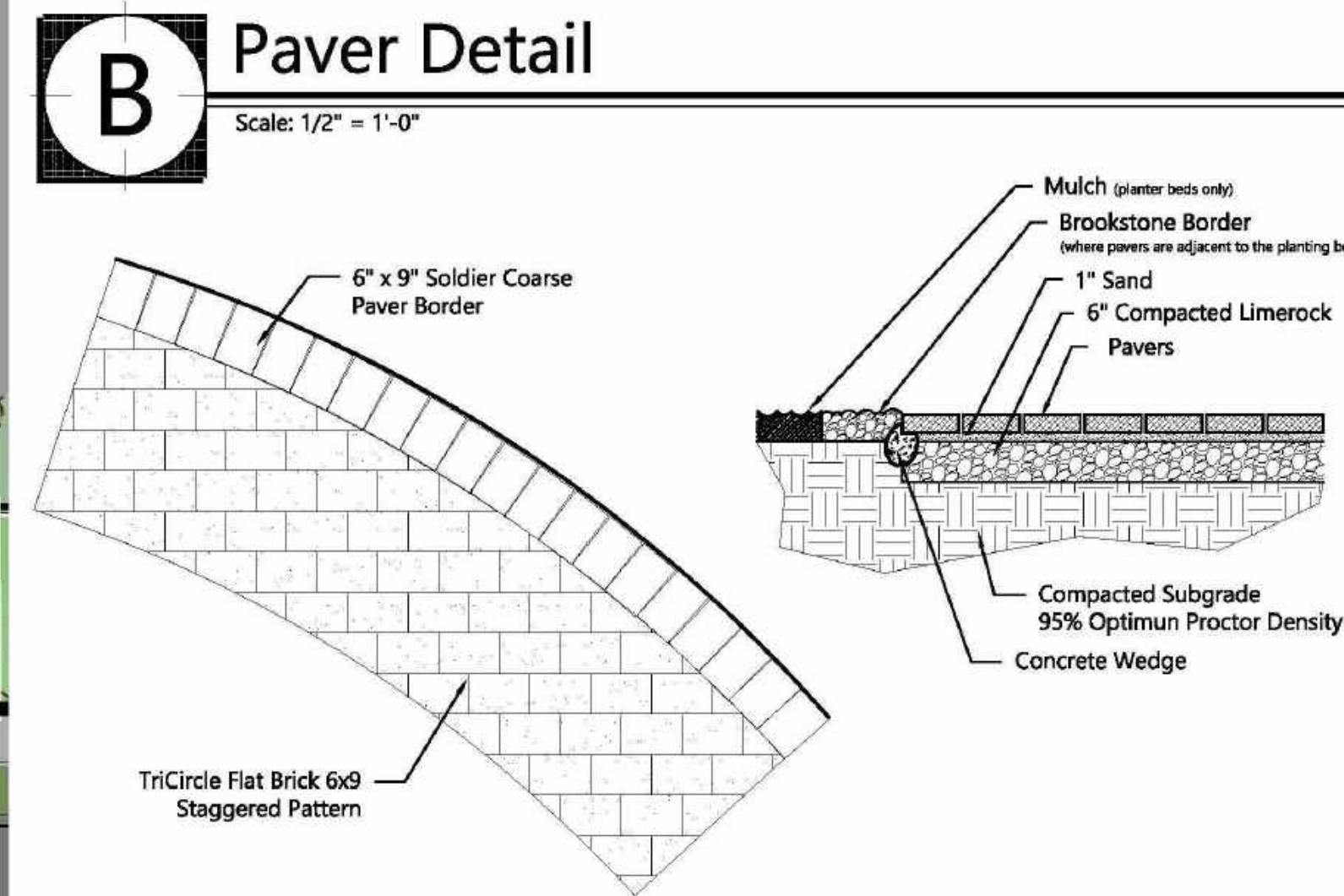
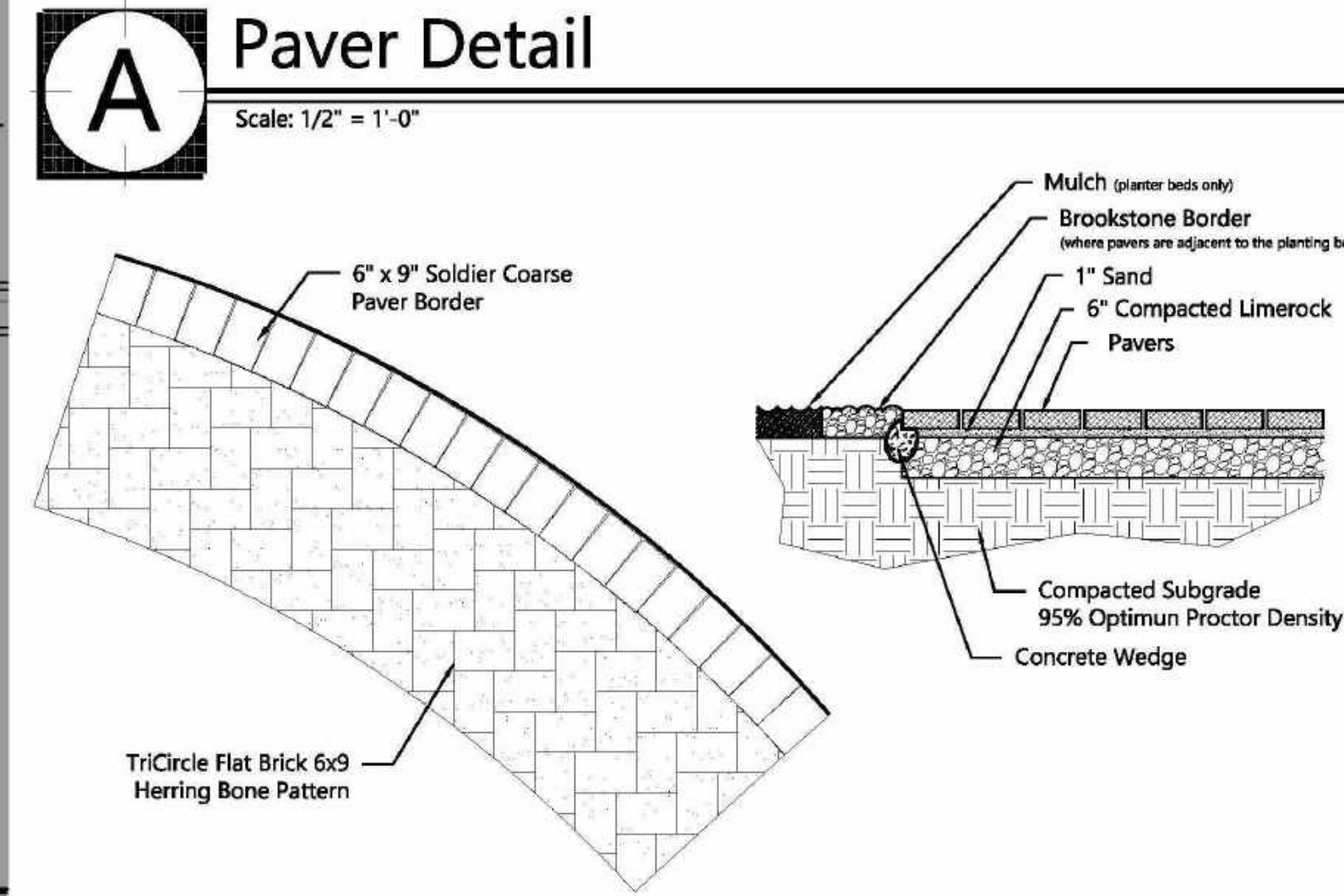
L1a

1:31.60 Naples Gateway Shopping Center, 1531 S. Highway 1, Naples, FL 34104. Project No. 23-060. All dimensions are in feet. The contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.



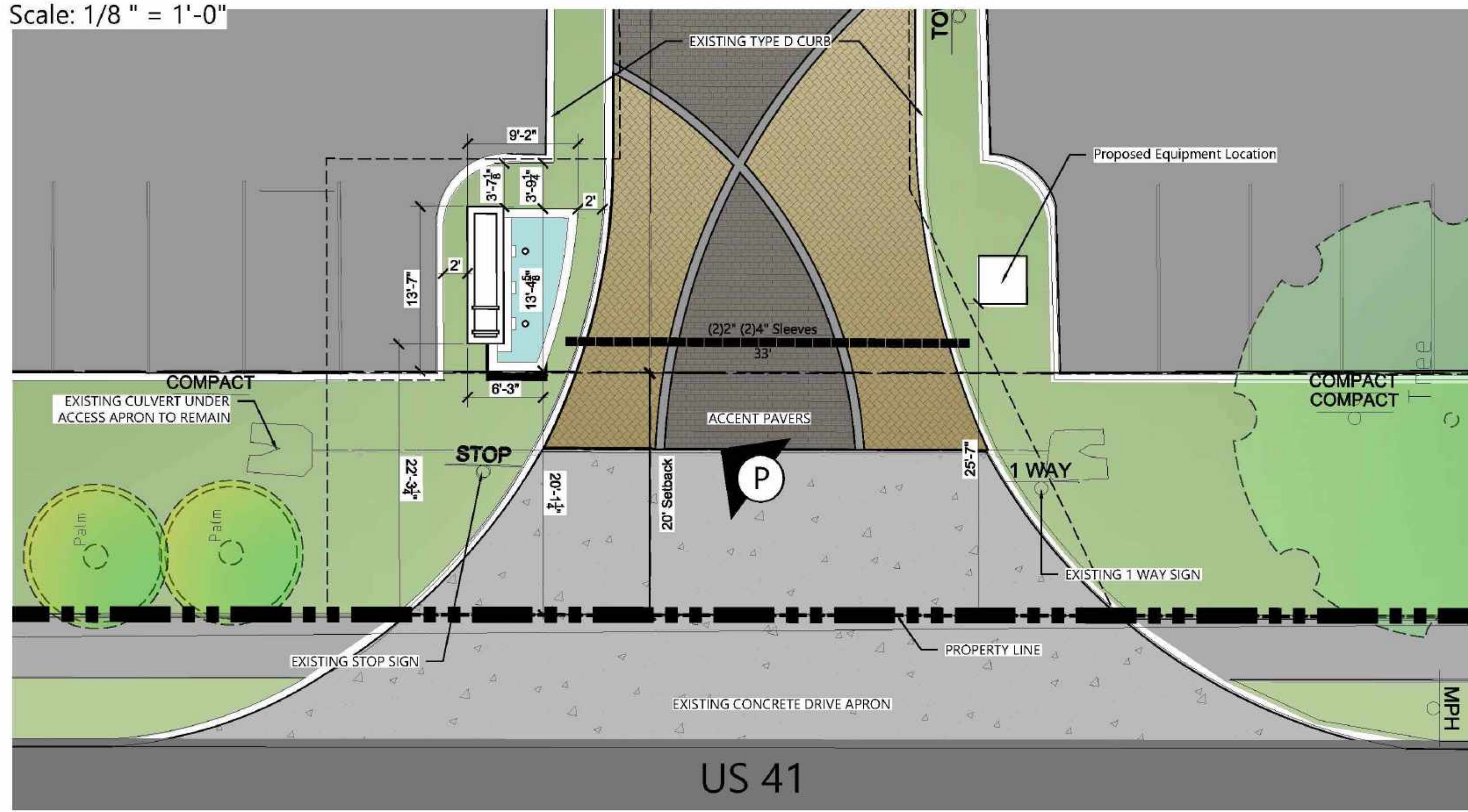
Index

- A2 DRIVEWAY**
Tri-Circle Flat Brick Pavers
Pattern : Herringbone
Size : 6x9 Flat Brick
Field Color : Option 1 - Malt / Pecan 4083
Option 2 - Vanilla / Taupe / Charcoal 417806
Banding Size & Color : Match Field
Quantity : 4319 sq. ft.
- A2 DRIVEWAY**
Tri-Circle Flat Brick Pavers
Pattern : Staggered Running Bond
Size : 6x9, Flat Brick
Field Color : Pewter/Charcoal 0306
Banding Size & Color : Match Field
Quantity : 2130 sq. ft.
- B1 WATER FEATURE TILE FINISH**
Ezzari - Mosaico - Niebla
Product Code: 2503-D



ENTRY ENLARGEMENT - WATER FEATURE

Scale: 1/8" = 1'-0"



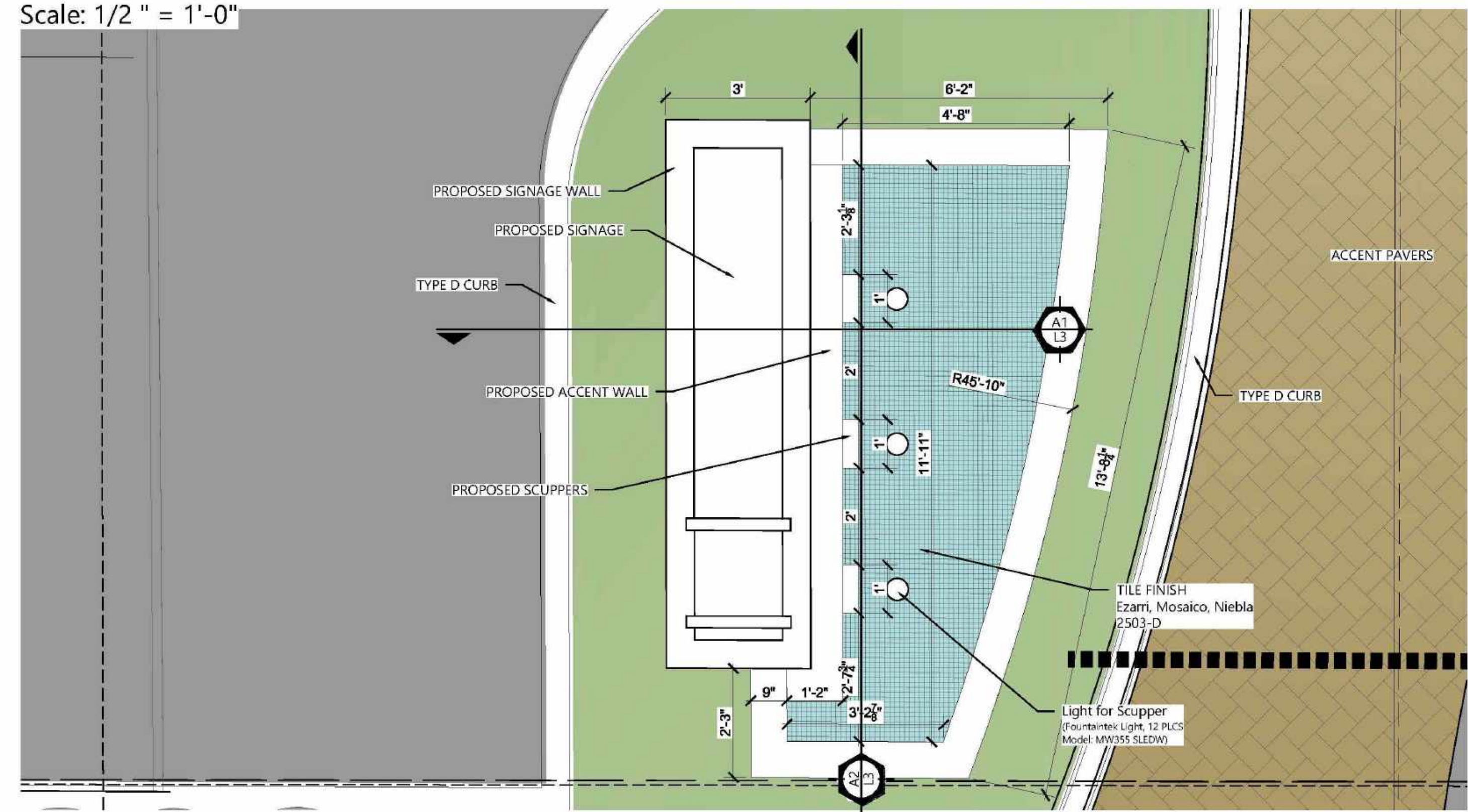
PERSPECTIVE RENDER



Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

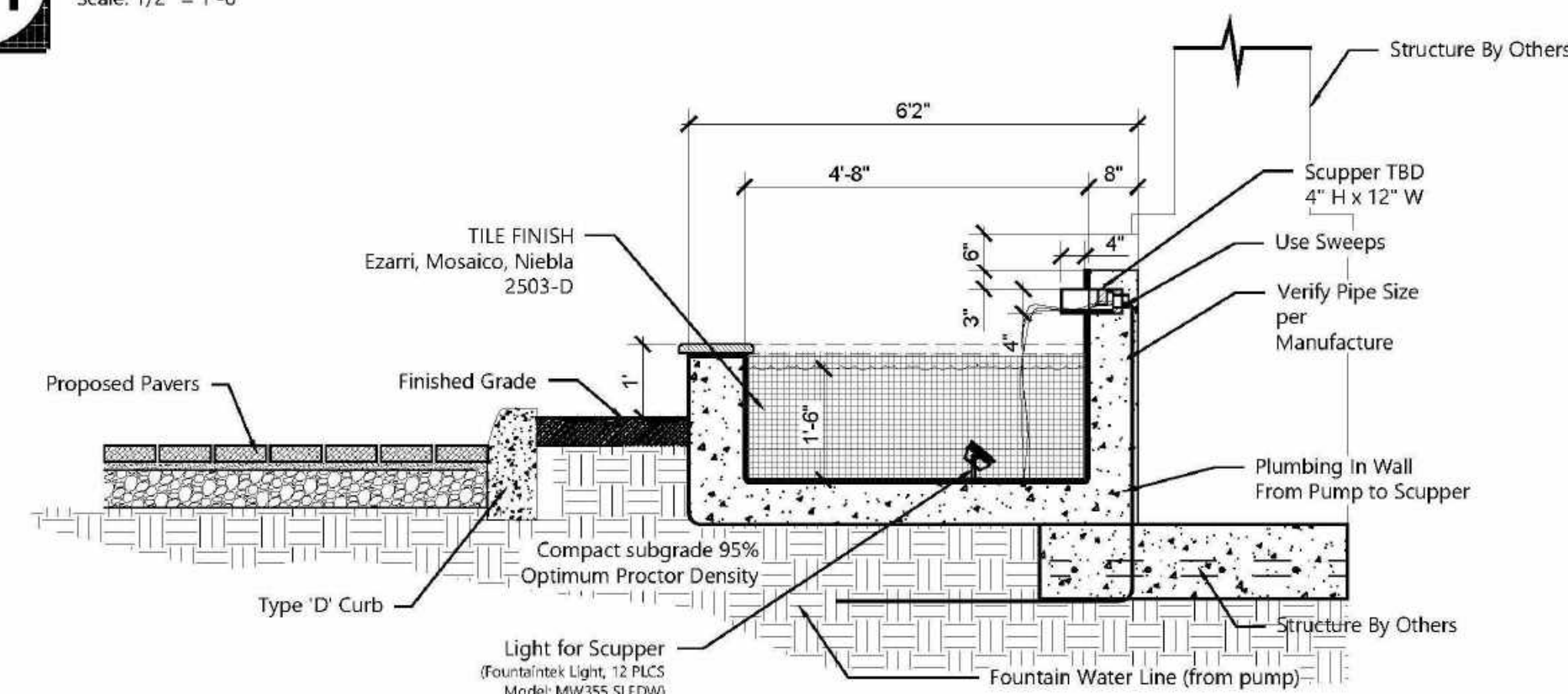
SIGNAGE / WATER FEATURE ENLARGEMENT

Scale: 1/2" = 1'-0"



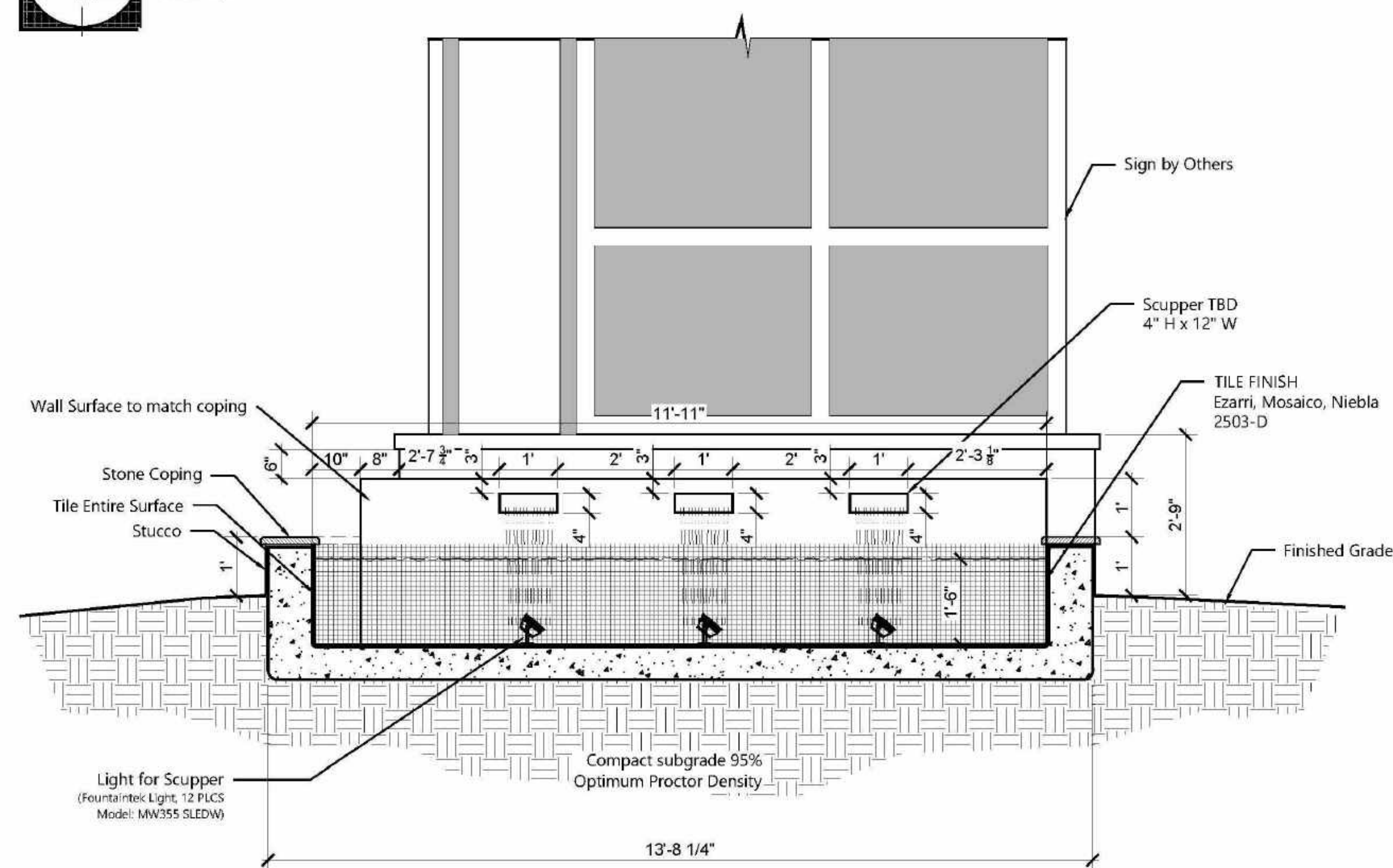
A1 Wall /Bubbler/Scupper Detail

Scale: 1/2" = 1'-0"



A2 Wall /Bubbler/Scupper Detail

Scale: 1/2" = 1'-0"



**ARCHITECTURAL
LAND DESIGN
INCORPORATED**
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

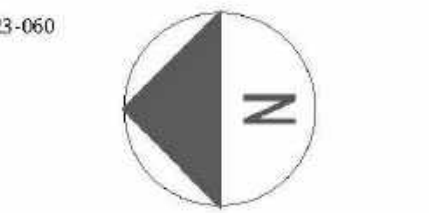
License No. 1178

Copyright © 2023 Architectural Land Design, Inc.

CENTRE POINTE
Naples, FL
ENTRY WATER FEATURE PLAN

A1 Sheet L4 PM 10.23.23
Drawing Date: FM 06.27.23

Scale: ---
23-060



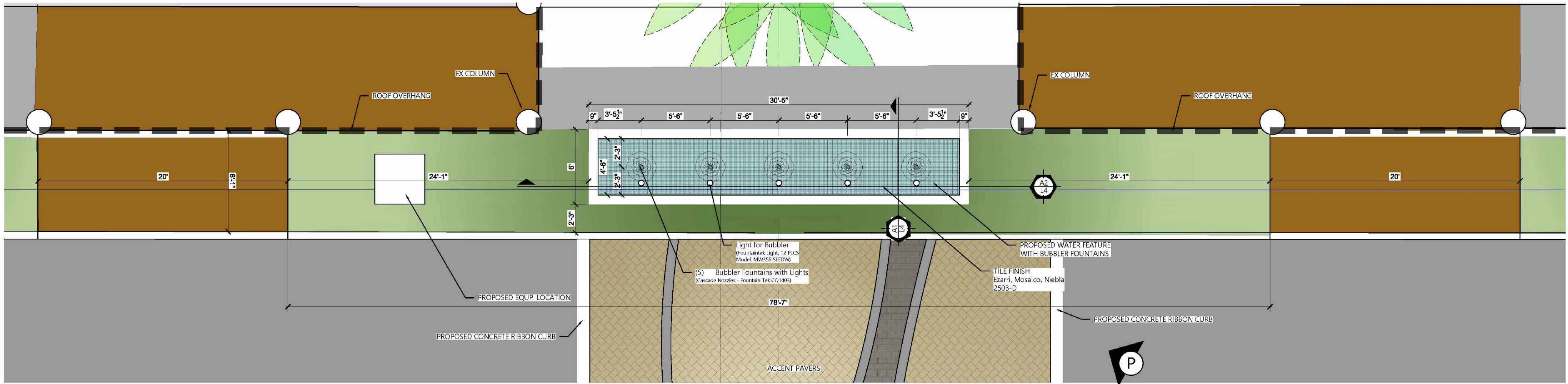
File Name: 23-060-0h.dwg

Architectural Information Provided By:
Company Name: ---
File Name: ---
Date: ---
Site Information Provided By:
Company Name: RMA Consulting
File Name: CS-AL1A sent
Date: 06.15.23

L3

COURTYARD ELARGEMENT - WATER FEATURE

Scale: 1/4" = 1'-0"



ARCHITECTURAL
LAND DESIGN
INCORPORATED
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

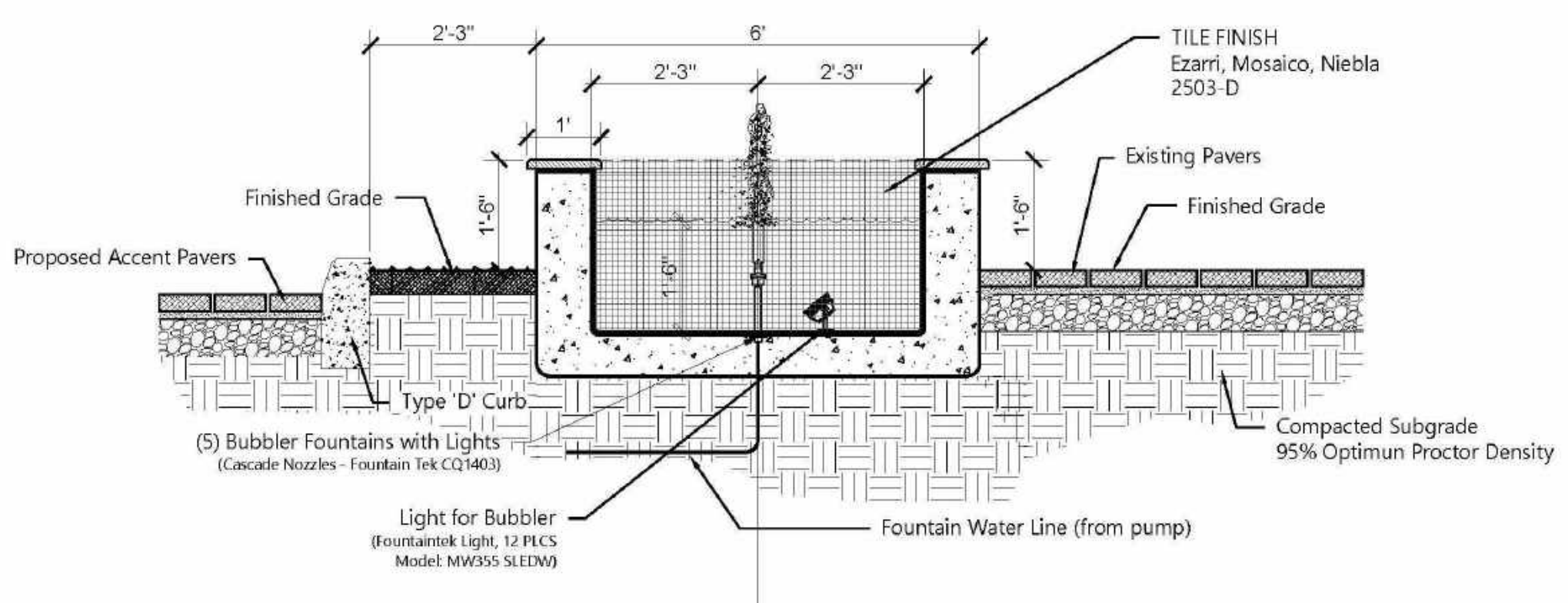
Copyright Architectural Land Design, Inc.

PERSPECTIVE RENDER



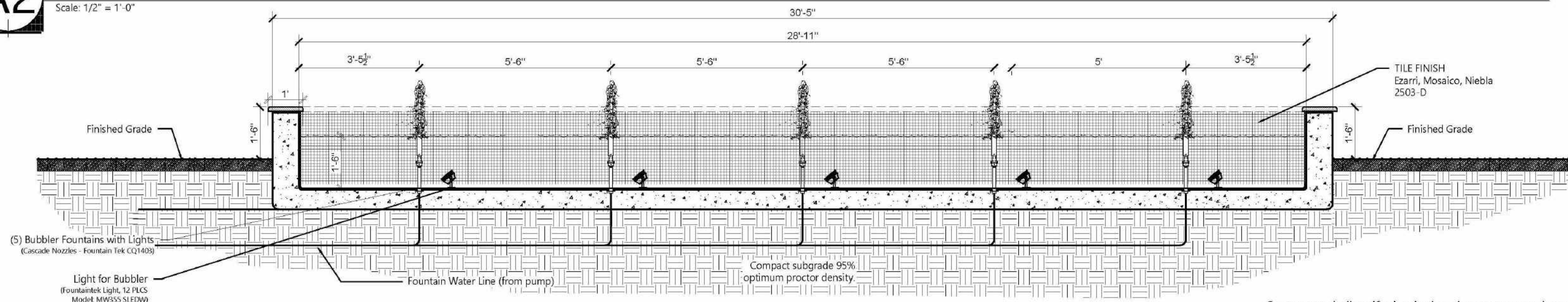
A1 Wall /Bubler Detail

Scale: 1/2" = 1'-0"



A2 Wall /Bubler Detail

Scale: 1/2" = 1'-0"

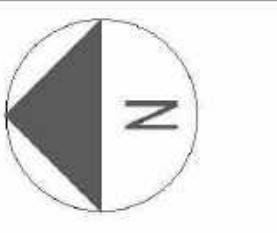


CENTRE POINTE
Naples, FL
COURTYARD WATER FEATURE PLAN

A1 Sheet L4 PM 10.23.23
Drawing Date: PM 06.27.23

Scale: ---

23-060



File Name: 23-060 0h.dwg

Architectural Information Provided By: ---
Company Name: ---
File Name: ---
Date: ---
Site Information Provided By: RWA Consulting
Company Name: RWA Consulting
File Name: CRF-ALIA sent
Date: 06.15.23

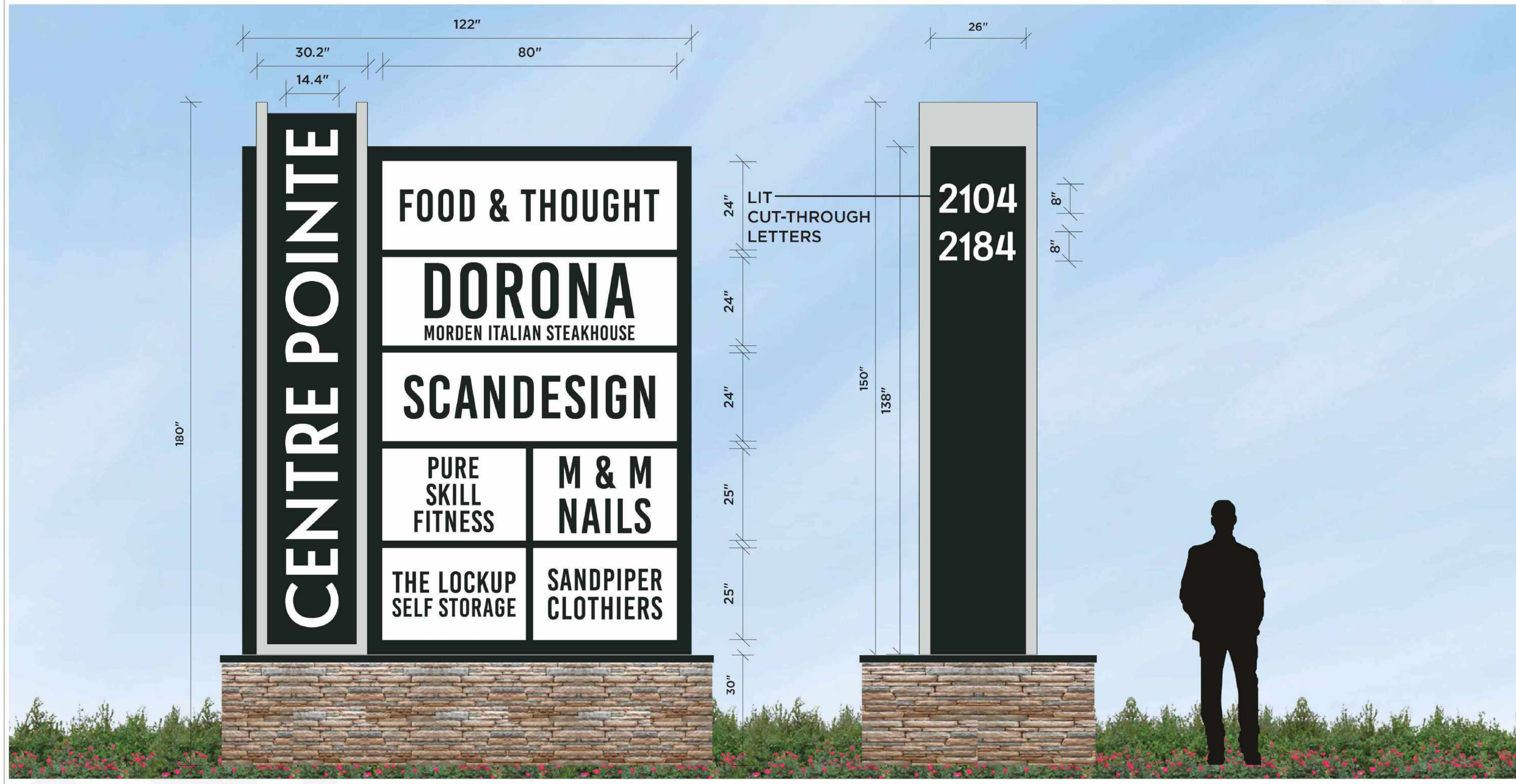
L4

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

L23-060 Naples, Gateway Shopping Center, 23-060, 0h.dwg, Printed on 10/23/2023 10:53:41 AM by Katelyn Haskins
 All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most current plan. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most current plan. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without
 This Document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

PROPOSED ENTRY SIGNAGE CONCEPT

MEASUREMENTS



Signage Notes

Gateway Planned Development ORDINANCE 01-9098

4.10 Sign Regulations

Signage shall be as provided in the City of Naples Comprehensive Development Code for neighborhood shopping centers, except that on Parcel 1, One (1) ground sign, identifying up to seven (7) major tenants of the shopping center and having a maximum area of one hundred twenty (120) square feet shall be permitted; on parcel 2, one (1) ground sign, having a maximum area of sixty (60) square feet shall be permitted; and on parcel 1, a maximum of three businesses will be permitted to install two (2) exterior wall signs, each not to exceed forty (40) square feet instead of one (1) sign not to exceed eighty (80) square feet; and on Alternate Parcel 1, one (1) ground sign having a maximum area of sixty (60) square feet shall be permitted at each access point. Provided however, that the tenant identifications contained on the ground sign on Parcel 1, referred to above, shall be done in a consistent lettering style, provided that existing tenant identifications that do not conform to the lettering style adopted may continue until the expiration of that tenant's current lease, after which the lettering shall conform to the adopted style.

Sec. 50-35. - Permitted signs, commercial zoning districts.

This section is intended to provide for identification of businesses by permitting on-site signs in commercial zoning districts, as follows:

(a) HC, BP, C2, C2-A, C3, C4, PS, and I zones, and PD zoning districts intended to accommodate the same uses: Single-tenant and multitenant parcels. Only the following signs are permitted: (1) Wall, integral roof, canopy, awning or marquee signs.

Location: No more than 2 freestanding signs shall be permitted per street frontage.

Front yard setback: Signs shall be set back a minimum of 10 feet from a front property line.

Side yard setback: Signs shall have a side yard setback of 25 feet.

Distance from intersections: Freestanding signs shall be located a minimum of 50 feet from an intersection, as measured from the extension of the curblines.

Distance from driveways: Signs shall be set back a minimum of 10 feet from the edge of any driveway.

Separation requirements, freestanding signs: Freestanding signs shall have a minimum spacing distance of 100 feet between signs.

600 feet of combined street frontage or more: 3 freestanding signs permitted. Pole signs are not permitted

Size: 60 square feet maximum. 2 80-square-foot freestanding signs may be substituted for 3 60-square-foot freestanding signs.

Height: Freestanding signs shall be limited to a maximum of 15 feet in height.

Single-tenant parcels: No limitation on text.

Multitenant parcels: The name of the building or commercial complex and tenant names shall be permitted.

All parcels: The street number shall be included on a freestanding sign fronting the principal street.

Sheet L4 Drawing Date: PM 10:23:23 PM 06:27:23

Scale: ---

23-060

File Name: 23-060 0h.dwg

Architectural Information Provided By: ---
Company Name: ---
File Name: ---
Date: ---

Site Information Provided By: RWA Consulting
Company Name: RWA Consulting
File Name: CRF-ALIA sent
Date: 06/13/23

Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. * All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction. * These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of Architectural Land Design. * This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

SITE PLANTING PLAN



LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

CENTRE POINTE
Naples, FL
OVERALL PLANTING PLAN



PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12" x 4" x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10" x 4" multi trunk limbed up 5" ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12" ct 28" oa, 18" cal, Field grown
VM20A	5	Vetelia montgomeryana Montgomery Palm	18"-20" oa x 10" spd, 5" cal
VM18C	8	Vetelia montgomeryana Montgomery Palm	18"-20" Triple
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOUW3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysobalanus icaco 'Red Tip' Red Tip Coccolrum	2' OA
FIM3	826	Ficus macrocarpa Green Island Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrcianthes fragrans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa.
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5" x 5"

- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible for installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate deterrents, or suggest alternate plant materials.

All grades Represent Finished Grades Unless Otherwise Noted (ie. 'Slab')

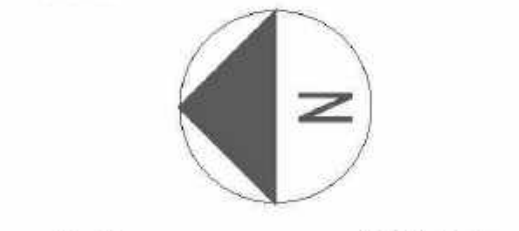
Contractor to verify property lines and setbacks before construction. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent. Any inconsistencies w/ these plans need to be reported to ALD and the Owner. Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

A1 Sheet L4 PM 10.23.23
Drawing Date: PM 06.27.23

Scale: 1/32" = 1'-0"

23-060



File Name: 23-060-0h.dwg

Architectural Information Provided By:
Company Name: _____
File Name: _____
Date: _____

Site Information Provided By:
Company Name: RWA Consulting
File Name: CR7-ALD1A sent
Date: 06.15.23

L6

1/23/23 6:46 AM: Naples Gateway Shopping Center ALD, Project 23-060, 6th drawing, Revised: 10.23.23, 04:49:04 AM, by: Kristen Hubbell
Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the contractor's responsibility to verify that he has the most current plans. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of Architectural Land Design.
This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

SITE PLANTING PLAN



ARCHITECTURAL
LAND DESIGN
INCORPORATED

LANDSCAPE ARCHITECTURE

2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661

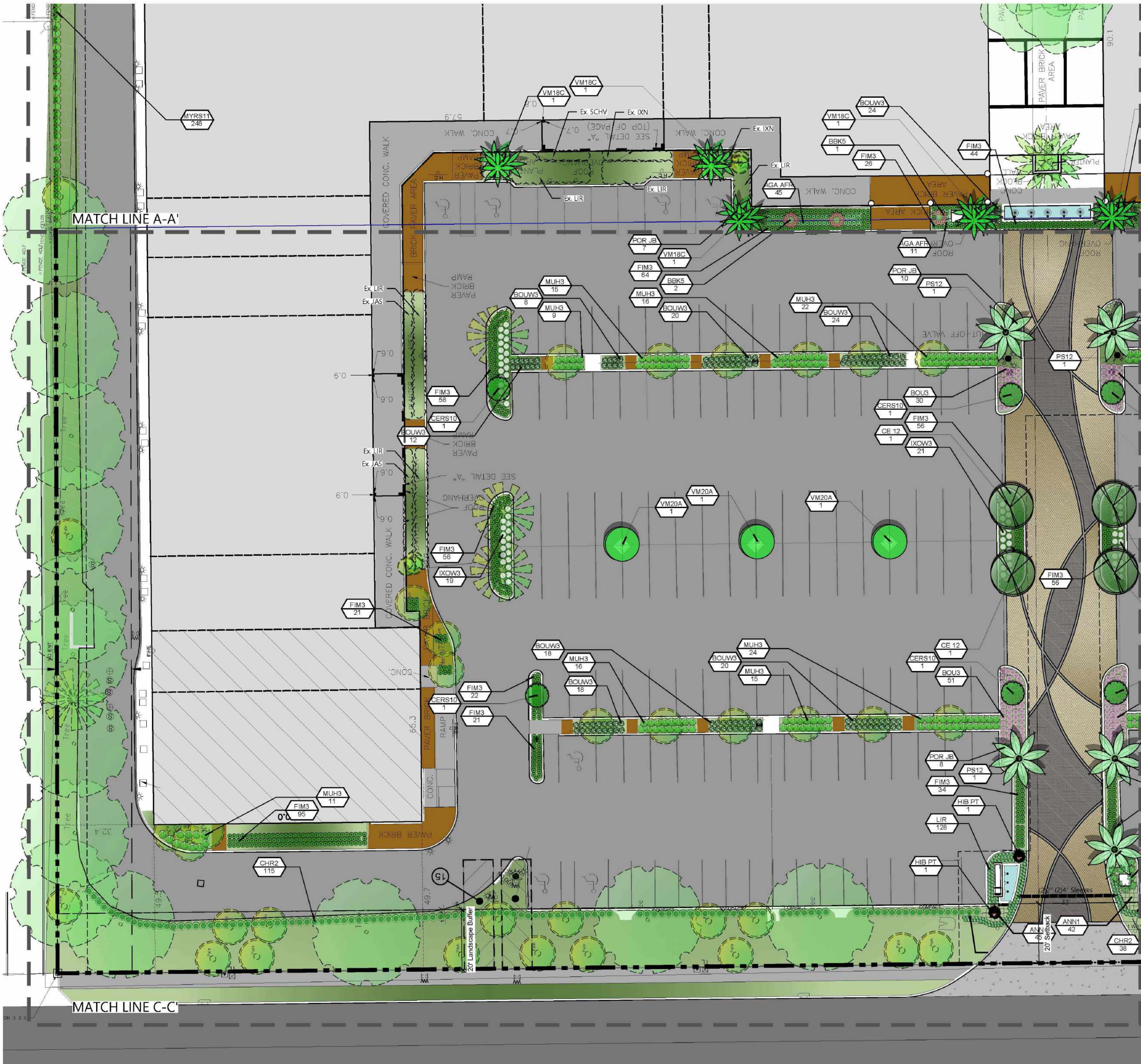
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

CENTRE POINTE
Naples, FL

NORTHWEST PLANTING PLAN



CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12" x 4" x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10" x 4" multi trunk limbed up 5" ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12" ct 28" oa, 18" cal, Field grown
VM20A	5	Veitchia montgomeryana Montgomery Palm	18"-20" oa x 10" spd, 5" cal
VM18C	8	Veitchia montgomeryana Montgomery Palm	18"-20" Triple
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOUW3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysobalanus icaco 'Red Tip' Red Tip Cocoplum	2" OA
FIM3	826	Ficus macrocarpa Green Island Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrciantha fragnans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa.
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5" x 5"

- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible for installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the Irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractor's expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate deterrents, or suggest alternate plant materials.

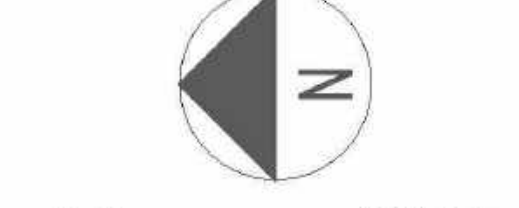
1.331.666 Naples Gateway Shopping Center, Phase 1, 10/15/2023, 10:45 AM, Kaden Hubbell
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. The contractor's responsibility is to verify that he has the most current plans. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of ARCHITECTURAL LAND DESIGN.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Sheet L4 PM 10.23.23
Drawing Date: PM 06.27.23

Scale: 1/16" = 1'-0"

23-060



File Name: 23-060-0h.dwg

Architectural Information Provided By:
Company Name: _____
File Name: _____
Date: _____

Site Information Provided By:
Company Name: RWA Consulting
File Name: CR7-ALD sent 10.15.23
Date: _____

L7

SITE PLANTING PLAN



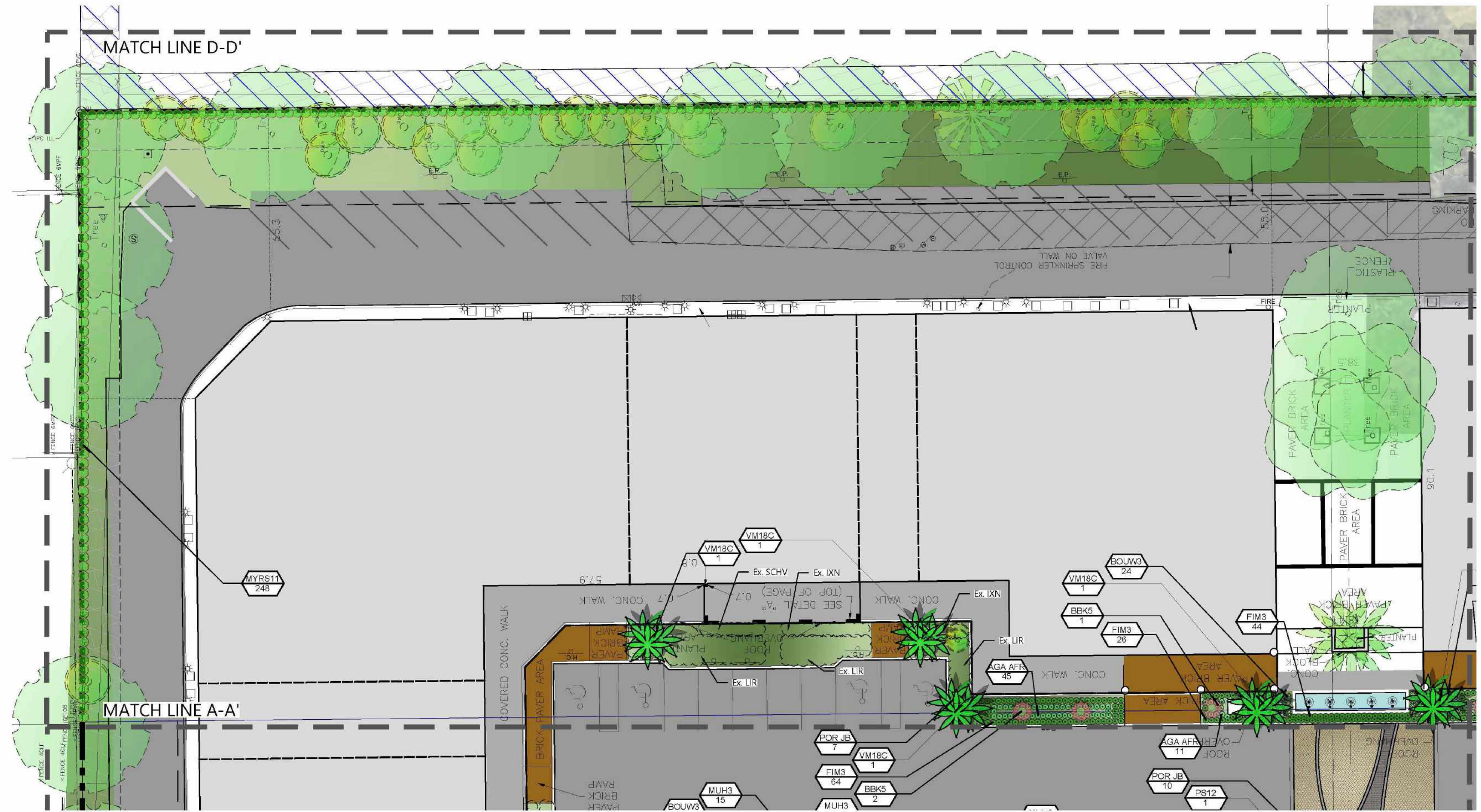
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

Page: Architectural Page 6

CENTRE POINTE
Naples, FL
NORTHEAST PLANTING PLAN



PLANT SCHEDULE			
CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12" x 4" x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10" x 4" multi trunk limbed up 5' ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12" ct 28" oa, 18" cal, Field grown
VM20A	5	Veitchia montgomeryana Montgomery Palm	18"-20" oa x 10" spd, 5" cal
VM18C	8	Veitchia montgomeryana Montgomery Palm	18"-20" Triple
CODE	QTY	BOTANICAL / COMMON NAME	CONT
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOW3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysobalanus icaco 'Red Tip' Red Tip Coccolum	2" OA
FIM3	826	Ficus macrocarpa Green Island Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrcianthes fragrans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa
CODE	QTY	BOTANICAL / COMMON NAME	CONT
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5" x 5"

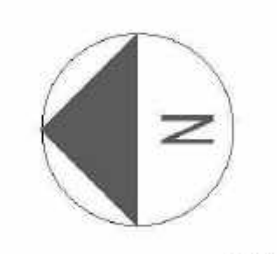
- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible for bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the Irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue, ie, incorporate deterrents, or suggest alternate plant materials.

L23-060 Naples, Gateway Shopping Center ALD Design 23-060.dwg, Plotted on 10/23/2023 10:53 AM by Kaitlin Haskeli
Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. * All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. * It is the Contractor's responsibility to verify that he has the most current plan. * Contractor shall not scale from plan, use dimensions only. * These plans are the property of Architectural Land Design and may not be used or reproduced without
This Document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

A1 Sheet L4 PM 10:23:23
Drawing Date: PM 06:27:23

Scale: 1/16" = 1'-0"

23-060



File Name: 23-060 0h.dwg

Architectural Information Provided By:		-----
Company Name:		-----
File Name:		-----
Date:		-----
Site Information Provided By:		-----
Company Name:	RWA Consulting	-----
File Name:	CR-ALIA sent	-----
Date:	06/13/23	-----

L8

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

SITE PLANTING PLAN



ARCHITECTURAL
LAND DESIGN
INCORPORATED
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

Copyright © 2023

CENTRE POINTE
Naples, FL
SOUTHWEST PLANTING PLAN



CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12" x 4" x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10" x 4" multi trunk limbed up 5" ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12" ct 28" oa, 18" cal, Field grown
VM20A	5	Veitchia montgomeryana Montgomery Palm	18"-20" oa x 10" spd, 5" cal
VM18C	8	Veitchia montgomeryana Montgomery Palm	18"-20" Triple
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOUW3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysobalanus icaco 'Red Tip' Red Tip Coccolupum	2" OA
FIM3	826	Ficus macrocarpa Green Island Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrcianthes fragrans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa.
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5" x 5"

- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible for bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate deterrents, or suggest alternate plant materials.

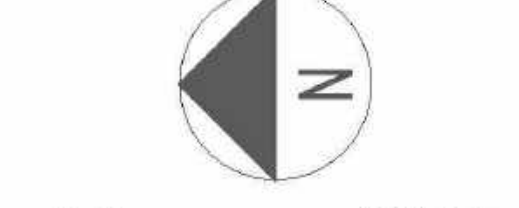
1.231.666 Naples Gateway Shopping Center, 10300 1st Avenue, Naples, FL 34108. Prepared by: Christian Andrea, Landscape Architect, License No. 1178. All base information has been provided by others, verification of setbacks, property lines, etc. used to be provided by others. It is the contractor's responsibility to verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction. This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Sheet L4 PM 10.23.23
Drawing Date: PM 06.27.23

Scale: 1/16" = 1'-0"

23-060



File Name: 23-060-0h.dwg

Architectural Information Provided:
Company Name:
File Name:
Date:

Site Information Provided By:
Company Name: RWA Consulting
File Name: CR7-ALTA.svd
Date: 06.15.23

L9

SITE PLANTING PLAN



ARCHITECTURAL
LAND DESIGN
INCORPORATED
LANDSCAPE ARCHITECTURE
2780 S. Horseshoe Drive Suite 5
Naples, FL 34104
(239) 430-1661
Design@ALDinc.net
License LC26000259

Christian Andrea

License No. 1178

Copyrighted artwork ©

CENTRE POINTE
Naples, FL
SOUTHEAST PLANTING PLAN



PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12" x 4" x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10" x 4" multi trunk limbed up 5" ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12" ct 28" oa, 18" cal, Field grown
VM20A	5	Veitchia montgomeryana Montgomery Palm	18"-20" oa x 10" spd, 5" cal
VM18C	8	Veitchia montgomeryana Montgomery Palm	18"-20" Triple
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOUW3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysobalanus icaco 'Red Tip' Red Tip Coccolum	2" OA
FIM3	826	Ficus macrocarpa Green Island Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrcianthes fragrans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa.
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5" x 5"

- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible for bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate deterrents, or suggest alternate plant materials.

1.031.069 Naples Gateway Shopping Center #103, Phase 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. This document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN. Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the contractor's responsibility to verify that he has the correct current plan. Contractor shall not scale from plan, use dimensions only. These plans are the property of Architectural Land Design and may not be used or reproduced without the written permission of Architectural Land Design.

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Sheet L4 Drawing Date: PM 10.23.23 PM 06.27.23

Scale: 1/16" = 1'-0"

23-060



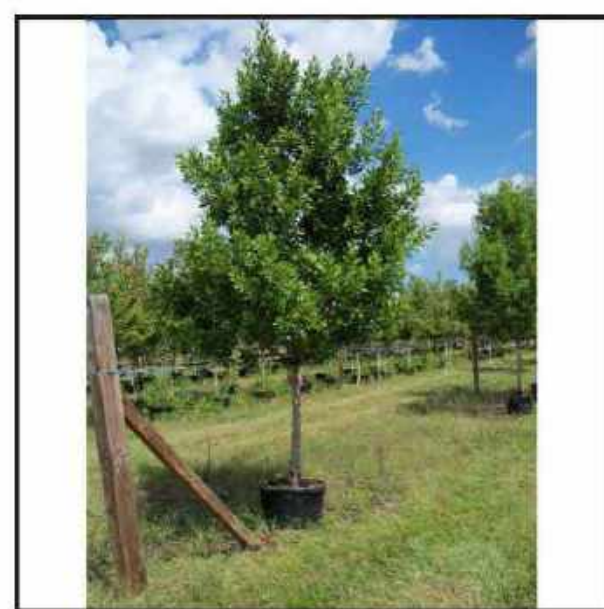
File Name: 23-060-0h.dwg

Architectural Information Provided By:
Company Name: ---
File Name: ---
Date: ---

Site Information Provided By:
Company Name: RWA Consulting
File Name: CR7-ALTA sent
Date: 06.15.23

L10

L11 000 Naples Gateway Shopping Center, LLC, Design ID: 23-060, 06/20/2023, 10:23:23 AM, K. Kelly, Habitat
 Any deviations or inaccuracies need to be brought to the attention of the Owner immediately. * All base information has been provided by others, verification of setbacks, property lines, etc. need to be provided by others. It is the Contractor's responsibility to verify that he has the most current plan. * These plans are the property of Architectural Land Design and may not be used or reproduced without
 This Document contains information proprietary to ARCHITECTURAL LAND DESIGN and no part of this drawing shall be reproduced or disclosed to others or used for any purpose other than that for which it was furnished, without prior written permission from ARCHITECTURAL LAND DESIGN.



green buttonwood tree 003



Conocarpus erectus ser.
Silver Buttonwood



Bougainvillea spp
Bougainvillea Stump



Hibiscus spp.
Hibiscus



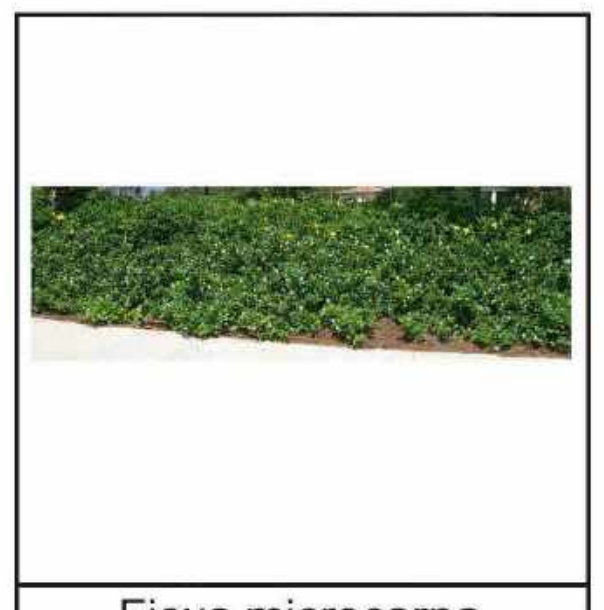
Quercus virginiana
Live Oak



Phoenix sylvestris
Sylvester Palm



Veitchia montgomeryana
Montgomery Palm



Ficus microcarpa
Green Gem Ficus



Ixora spp. 'Herrera's White'
White Showball Ixora



Liriope Muscari 'EG'
Liriope Evergreen Giant



Agapanthus africanus 'Blue'
Blue Lily of the Nile



Bougainvillea spp.
Dwarf Bougainvillea



Bougainvillea spp.
Silhouette Bougainvillea



Chrysozalanus icaco
Cocoplum



Muhlenbergi capallariensis
Muhly Grass



Simpson Stopper
Myrcianthes fragrans



Portea x 'Jungle Book'
Jungles Bromeliad



Impatiens hawkeri
New Guinea Impatiens

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	CONT
TREES			
CE 12	4	Conocarpus erectus Green Buttonwood	12' x 4' x 2" cal 12" above grade
CERS10	6	Conocarpus erectus 'Sericeus' Silver Buttonwood	10' x 4' multi trunk limbed up 5' ct
HIB PT	2	Hibiscus rosa-sinensis 'Seminole Pink' Flowering Pink Hibiscus	15 gallon 5'-6" ht
QV14	1	Quercus virginiana Southern Live Oak	14'-16" oa x 6" spd, 3.5" cal
PALMS			
PS12	5	Phoenix sylvestris Wild Date Palm	12' ct 28" oa, 18" cal, Field grown
VM20A	5	Veitchia montgomeryana Montgomery Palm	18'-20" oa x 10" spd, 5" cal
VM18C	8	Veitchia montgomeryana Montgomery Palm	18'-20" Triple
CODE	QTY	BOTANICAL / COMMON NAME	CONT
SHRUBS			
AGA AFR	113	Agapanthus africanus 'Blue' Blue Lily of the Nile	3 gallon 18"
BOU3	165	Bougainvillea spectabilis 'Helen Johnson' Bougainvillea	3 gallon 16"
BBK5	7	Bougainvillea x 'Barbara Karst' Barbara Karst Bougainvillea	Field Grown, 6'-7" oa, 4" cal
BOUV3	299	Bougainvillea x Miss Alice Bougainvillea	3 gallon 16"
CHR2	241	Chrysozalanus icaco 'Red Tip' Red Tip Cocoplum	2" OA
FIM3	826	Ficus microcarpa Green Gem Ficus	3 gallon 18"
IXOW3	121	Ixora ebracteata Snowball White Ixora Snowball White Ixora	3 gallon, 14"
LIR	197	Liriope muscari 'Emerald Goddess' Liriope	1 gallon
MUH3	272	Muhlenbergia capillaris Pink Muhly	3 gal 20"
MYRS11	248	Myrcianthes fragrans Simpson Stopper Simpson Stopper	36" OA
POR JB	64	Portea x 'Jungle Book' Jungles Bromeliad	9" pot, 32" oa.
CODE	QTY	BOTANICAL / COMMON NAME	CONT
GROUND COVERS			
ANN1	87	Annuals Mix Annuals Seasonal Mix	4" Container 5'x 5"

- Notes**
- All Plants shall be Florida No. 1 or Better.
 - Landscape Contractor shall review plans and indicate any availability problems at time of bid. Landscape contractor shall be responsible bidding and installing all plantings as they are drawn on the plan, and shall verify the accuracy of the plant list vs the drawn plan, at the time of bid.
 - All plants indicated in zones, C or S, are susceptible to damage from cold temperatures.
 - Contractor shall maintain all plantings until acceptance by Owner.
 - All beds shall be weed free until acceptance by owner. Wherever weeds are present in turf beds or landscape beds, a round application to kill these weeds before sodding or planting shall be required.
 - All Trees and Palms shall be warranted for a period of 6 months. All Shrubs shall be warranted for a period of 90 days. All Sod shall be warranted for a period of 30 days. Warranty begins at time of acceptance of project.
 - All Sod shall be warranted for 30 days.
 - It is the landscape contractor's responsibility to coordinate w/ the Irrigation contractor to ensure adequate coverage exists.
 - Contractor shall install a Bio Barrier Fabric around all palms within 4' of pavement or planter walls, and all large canopy trees within 10' of a sidewalk.
 - Contractor shall be licensed and insured.
 - Contractor shall maintain site in a clean fashion and shall remove any waste that he creates.
 - Landscape Contractor shall have a pre-construction review of plans w/ Landscape Architect prior to ordering plant material, to verify plans are current, and that no changes are necessary. Contractor shall also schedule a walk thru to allow Landscape Architect to review flagging and placement of all plant material prior to installation. These above mentioned meetings are important to the quality control of the project. Landscape contractor understands that if work commences without these meetings, that the owner and Landscape Architect have the ability to make field changes to the plans at the Landscape Contractors expense.
 - General Contractor / Site contractor shall make certain that all soil for planting areas shall be of suitable landscape quality fill. Soil shall be comprised of a sandy base, and have good organic and good percolation qualities.
 - General Contractor / Site contractor shall make certain all limerock, and excessively compacted soils shall be removed from planting beds.
 - Landscape Contractor shall make certain that the site conditions meet to their satisfaction before installing plant material.
 - If Landscape contractor has any concerns over the survivability of plant materials, he must inform the owner immediately.
 - Contractor to confirm any pest (Deer, Rabbit, etc) issues prior to planting and provide appropriate solution to alleviate issue; ie, incorporate deterrents, or suggest alternate plant materials.



LANDSCAPE ARCHITECTURE
 2780 S. Horseshoe Drive Suite 5
 Naples, FL 34104
 (239) 430-1661
 Design@ALDinc.net
 License LC26000259

Christian Andrea

License No. 1178

Copyright © 2023

CENTRE POINTE

Naples, FL

PLANT PICS

▲1 Sheet L4 PM 10:23:23
 Drawing Date: PM 06:27:23

Scale: N/A

23-060

File Name: 23-060 0g.dwg

Architectural Information Provided By: ----
 Company Name: ----
 File Name: ----
 Date: ----
 Site Information Provided By: RWA Consulting
 Company Name: RWA Consulting
 File Name: CR-ALIA sent
 Date: 06/15/23

L11

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Contractor to verify property lines and setbacks before construction.
 Contractor must have property lines staked and located,
 and must verify plan dimensions and field conditions are consistent.
 Any inconsistencies w/ these plans need to be reported to ALD and the Owner.
 Contractor shall verify that he has the most up to date plans, and that they have
 been approved and accepted by the Owner before commencing construction.



ARCHITECTURAL LAND DESIGN INCORPORATED

LANDSCAPE ARCHITECTURE

2780 S. Horseshoe Drive Suite 5 Naples, FL 34104 (239) 430-1661

Design@ALDinc.net

License LC26000259

Christian Andrea

License No. 1178

Design@ALDinc.net

CENTRE POINTE Naples, FL PLANTING DETAILS AND SPECIFICATIONS

PLANT SCHEDULE

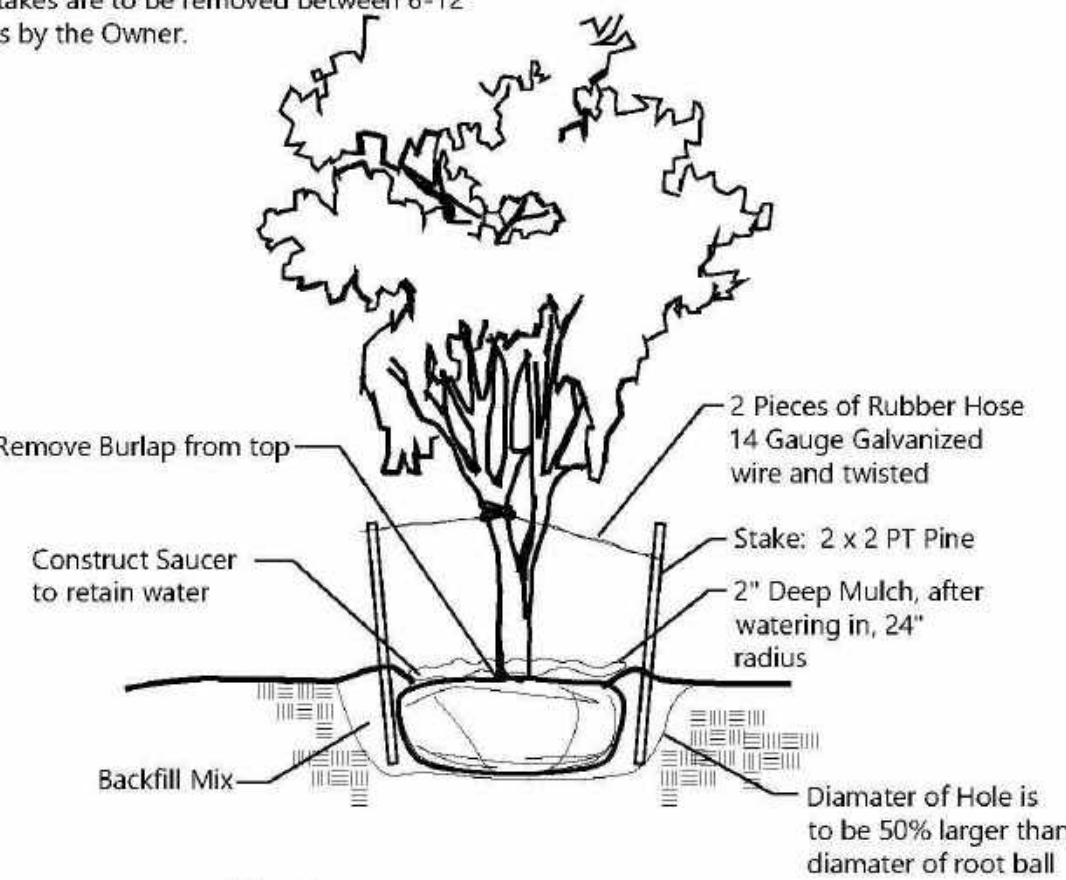
Table with columns: CODE, QTY, BOTANICAL / COMMON NAME, CONT. Includes sections for TREES, PALMS, and SHRUBS.

Notes

- 1. All Plants shall be Florida No. 1 or Better. 2. Landscape Contractor shall review plans and indicate any availability problems at time of bid...

Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.

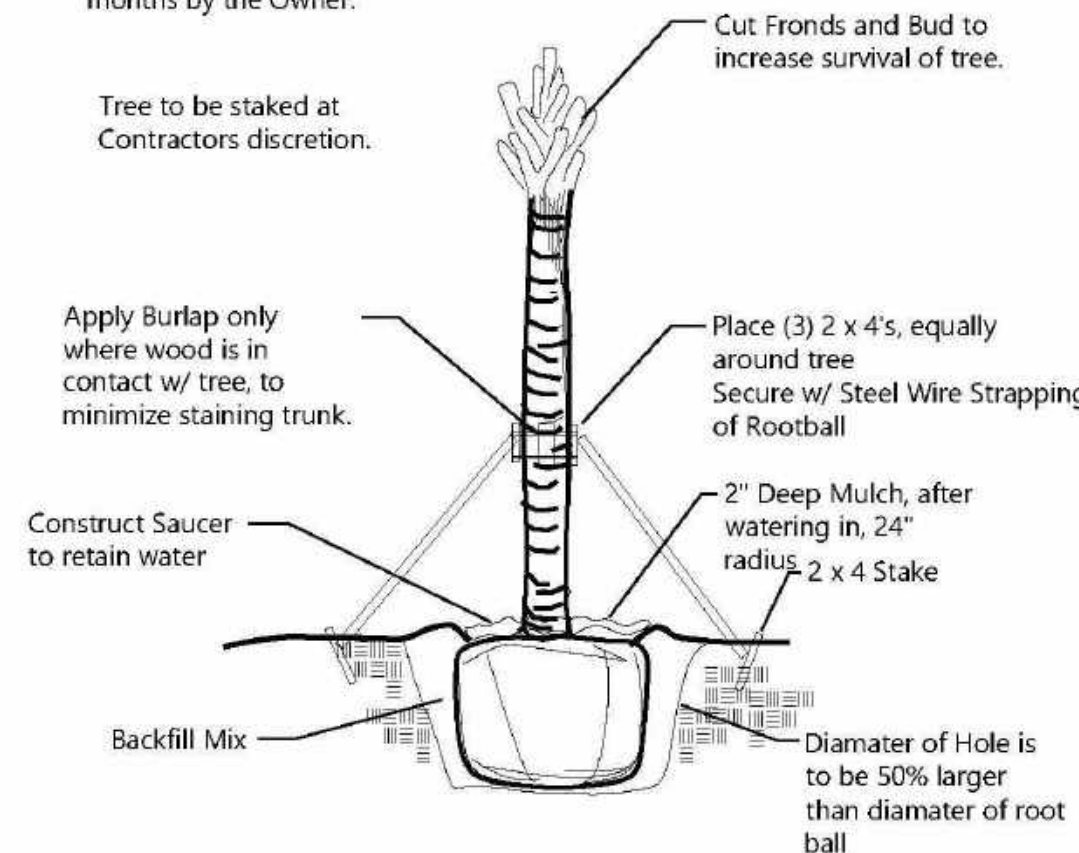


Notes

All Plants shall be Florida No.1 Contractor shall be familiar w/ the landscape code and shall comply with all of its applicable requirements.

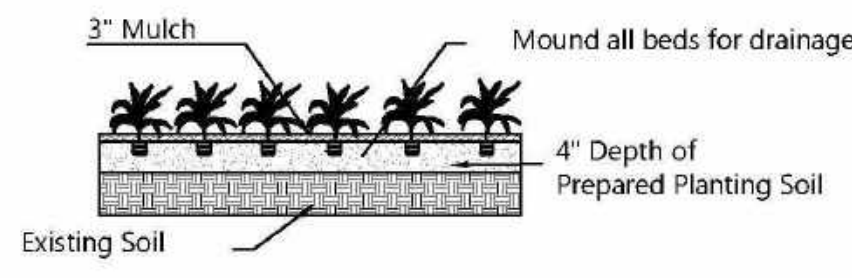
Palm Tree Staking Detail

Tree Stakes are to be removed between 6-12 months by the Owner.



Groundcover & Annual Detail

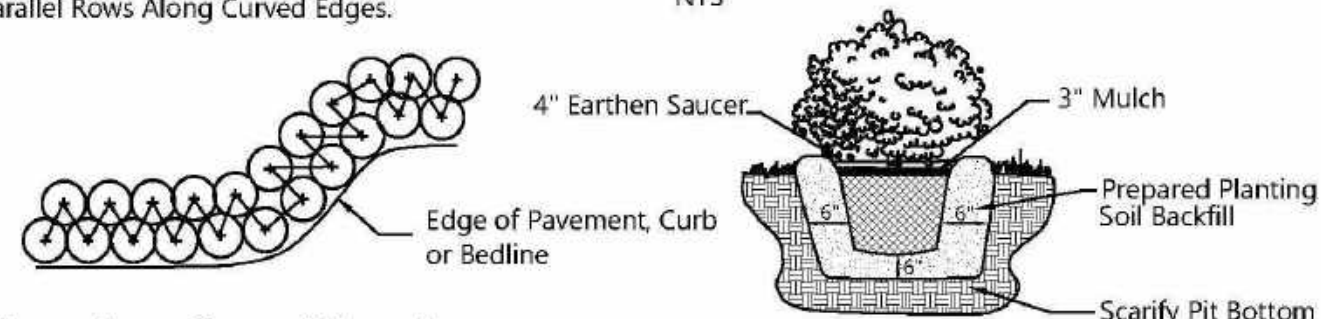
NTS NOTE: Annuals Are To Be Planted As Per Groundcover Detail Excluding Mulch.



Shrub & Groundcover Planting Detail

NTS

Note: All Shrubs And Groundcovers Shall Be Triangular Spaced Along Straight Edges And Will Be Planted in Parallel Rows Along Curved Edges.



Planting Specifications

QUALITY: All plants shall be Florida No.1 or better as given in Grades B, Standards for Nursery Plants, Parts I and II, latest edition published by the Florida Department of Consumer Services.

RESEARCH: Contractor shall research plans and site to determine present location of utilities and obstructions before commencing work.

The contractor shall personally examine the project site and fully acquaint himself with all of the existing conditions in order that no misunderstanding may occur.

No Additional compensation will be granted, after bid has been let for any hardships the contractor may encounter in the performance of his duty.

DRAWINGS: Drawings are part of this contract. Any discrepancies between the drawings and specifications shall be brought to the attention of the owner at time of bid.

SCOPE: Under this contract, the work consists of furnishing all labor, material, equipment, transportation, etc., to complete all landscaping work as shown on the Drawings...

The contractor shall be responsible for all planting/ maintenance of plants until acceptance by Owner.

All damage shall be repaired at the contractors expense

WARRANTY: All trees shall be warrantied for a period of 1 year. All shrubs and groundcovers shall be warrantied for a period of 90 days...

REPLACEMENT: All plant replacements shall be done with the same size and species of plant that was specified.

SAMPLES: Samples of any landscape material may be required for approval on the site or as otherwise determined by the Owner.

SUBSTITUTIONS: Any substitutions made for any reason must be approved by the owner.

WATER: It is the contractors responsibility to obtain and adequately water the plants during the duration of the installation phase.

CONTAINER GROWN MATERIAL: All container grown materials shall be healthy vigorous, well rooted plants, and established in the container so that the root mass will retain its shape...

PALMS: Only a minimum number of fronds shall be removed from the crown of palm trees to facilitate moving and handling.

PALMS: Clear trunk (c.t.) shall be measured from the ground at time of installation to the point where the mature aged trunk joins the immature green portion of the tree.

SHADE TREES: Height shall be measured from the ground to the avg. height of canopy. Spread shall be measured to the average outer edge.

SHRUBS: Height shall be measured from the ground to the average point where mature plant growth stops.

SOD: Sod shall be measured on the basis of square footage. Contractor shall be responsible for coverage of the square footage shown on the plans.

SOD: Time delivery so that sod will be placed within 24 hours after.

MULCH: Apply 3" Pine Straw mulch to all planting areas. Keep mulch from piling up along the base of the tree and shrubs.

FINE GRADING: The landscape contractor shall be responsible for fine grading of the site. This means that the site shall be brought within 1" of final grade so that the landscape contractor will be able to perform final grading.

SOIL

Planting beds shall contain good soil, complete with organic sand mix. There shall be no construction debris, rock larger than 1" within bed areas.

FERTILIZER: Two fertilizers shall be used in all types of plantings except palms. Granular fertilizer shall be uniform in composition, dry and free flowing.

Table showing PLANT SIZE vs. BACKFILL/SOIL MIX vs. ANNUALS vs. TABLET rates.

2. Magnesium sulfate or "Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper.

PRUNING: Each plant shall be pruned to complement the natural character of the tree. All dead and brown fronds, leaves, branches shall be removed.

TREE GUYING AND BRACING: Firmly stake or guy all trees in accordance with the plans and planting details immediately after planting to prevent wind damage.

WEED CONTROL: All landscape areas shall be free of nut grass, torpedo grass, and other noxious weeds.

PLANT MAINTENANCE: Contractor shall maintain all plants until final acceptance by owner.

CLEAN-UP: Contractor shall clean site area every day. The site shall be devoid of all rubbish, landscape debris, containers.

Vertical text on the left margin: 10/23/2023... any deviations or inaccuracies need to be brought to the attention of the Owner immediately...

Contractor shall verify that he has the most up to date plans, and that they have been approved and accepted by the Owner before commencing construction.

Contractor to verify property lines and setbacks before construction. Contractor must have property lines staked and located, and must verify plan dimensions and field conditions are consistent.

L12