



City of Naples - Building Department

295 Riverside Circle | Naples, Florida 34102
Phone: (239) 213-5020
www.naplesgov.com

**SINGLE FAMILY (NEW)
PERMIT APPLICATION**

Florida Building Codes, 7th Edition

Job Information: (See Regulations and Information on page 2 for more details.) Permit Application #: _____

Tax/Folio#: _____ Legal Description: _____

Job Address: _____

Property Owner: _____ Permit Expiration Date: _____

Contractor: _____ Email: _____

Est. Cost: \$ _____ Total Sq. Ft.: _____ Total A/C Sq. Ft.: _____

Description of Work: _____

Lot Data:

Lot width: _____ ft. Lot depth: _____ ft. Lot area: _____ SF Current Flood Zone: _____

Zoning District: _____ Lot Coverage: _____ % Max. Buildable area allowed: _____ SF

Actual Setbacks (feet): Front: _____ Rear: _____ Left Side: _____ Right Side: _____

Building Data:

Bldg. Footprint: _____ SF Total Bldg. Gross SF: _____

Bldg. Depth: _____ FT Bldg. Width: _____ FT Bldg. Height: _____ FT

Roof Type: _____ # of Squares: _____

Identify type of termite protection to be used: _____

One driveway applications must be included in Single Family New permit package.

Check all items included with permit package (*Italicized items are REQUIRED with all applications*):

One completely assembled sets of plans consisting of the following:

- ___ *Boundary Survey*
- ___ *Site Plan w/ Setbacks*
- ___ *Architectural drawings*
- ___ **Structural drawings**
- ___ *Truss Layouts & Design Loads*
- ___ *Building Elevations*
- ___ *Spatial Perception Drawings*
- ___ *Construction Site Management Plan*
- ___ **Storm Water Drainage Plan**
- ___ ** Energy Calculations**
- ___ **Product Approvals / NOAs**
- ___ **Electrical w/load calculations**
- ___ **Plumbing**
- ___ **Mechanical**
- ___ Water Meter Sizing Chart
- ___ DRB, PRPOA, & Other Approvals

*See Items 4-8 on page 2

(See pre-Submittal Check List - page 3)

Regulations and Information:

- ~~1. Required plan size is 24" x 36" maximum. Plans must be to scale with a minimum of 3/16"=1'.~~
2. **All plans must include a "Square Footage Legend" on the title page. This information must be broken down by "AC" and "Non-AC" square footage.**
3. Exterior windows and doors shall comply with FBC Residential wind loads and impact protection, Opening pressures and Miami-Dade NOA or FL State Product Approvals are required.
4. Windows within sight of the beach will comply with Section 52-61(6) of the Code of Ordinances (turtle glass).

Signed, Sealed Documents:

1. Dwellings and accessory structures intended for human habitation or use require structural drawings designed, signed and bearing the raised seal of a FL registered Design Professional.
2. If the electrical service is equal to or greater than 600 amps, a Florida Registered Engineer must sign the electrical plans with a raised seal.
3. Plumbing plans for projects with more than 250 fixture units or which cost more than \$50,000 require designed, signed and bearing the raised seal of a FL registered engineer.
4. HVAC plans for projects with HVAC systems cost of more than \$50,000 are required to be designed, signed and bearing the raised seal of a FL registered engineer.
5. Stormwater drainage/retention plans and specifications signed and sealed by an appropriate design professional shall be submitted for review and approval. [City of Naples Code 16-115(b)(1)]

Flood & DEP:

1. Site plan must include flood zone information. If more than 1 flood zone goes through the property flood lines must be delineated on the plan.
2. Title page must include the following information:
 - Current flood map information i.e. FIRM #12021C0581H dated 05/16/2012 AE 9.0 .
 - Elevations for average crown of road, lowest floor, living floor, and design floor, living floor and design floor, if applicable.
3. Architectural floor plan must include: floor and mechanical elevations, flood damage- resistant materials and flood vent information if applicable.
4. Projects west of the Coastal Construction Line (CCCL) will require prior approval from DEP and the City of Naples Natural Resources Manager

Note: FBC, 7th Edition requires 1-2 Family lowest floor Design Flood Elevation to be Base Flood Elevation plus 1 foot in all Flood Hazard Areas.

General:

1. **NO construction activity is allowed after slab is poured until a Spot Survey has been SUBMITTED to and APPROVED by the City of Naples Department.**
2. A temporary power inspection will allow the power to be turned on, with the understanding that the areas under construction will not be occupied without a Certificate of Occupancy or Certificate of Completion.
3. Owner-builders must sign an affidavit.
4. Driveway width and setbacks must be noted on the site plan when a new driveway is to be installed.
5. All accessory structures must be permitted separately. Including but not limited to fences, walls, pools, screen enclosures, and generators.
6. The planting of trees and shrubs, Driveways, and all other work in the City Right Of Way (ROW) must first be permitted and approved by the Street and Stormwater Department ROW Permit.
7. Other supporting documents, such as variances, conditional use permits, DRB approvals and GDSP's must accompany your plans.

Fees:

1. Fee for this permit is \$0.50 per square foot of the gross square footage of the structure for the building permit, the minimum fee shall be \$150.00. Electrical, plumbing, mechanical permit fees are charged per City Fee Ordinance. 2. Fee for stormwater permit is \$0.05 per square foot of lot area. 3. Zoning review fee: \$50.00, or \$0.05 per square foot of affected enclosed space, whichever is greater, for permits that include new or renovated square footage. Initial Required Building & Fire Code Inspections: \$35.00 each inspection. Building permit surcharge: \$0.01 per square foot. 4. A plan review fee, equal to 20% of permit fee, will be due at time of application. If plan review fee is less than \$30.00, it will be collected at time permit is issued, or upon withdrawal. The plan review fee is not refundable, nor is it credited to any other fee.

It is the contractor's responsibility to contact the Building Department when all final inspections are complete and obtain a Certificate of Occupancy or a Certificate of Completion.



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PRE-SUBMITTAL CHECK LIST FOR NEW ONE & TWO FAMILY HOME CONSTRUCTION

The following Check List is provided to aid Contractors and Owner/Builders in submitting Permit Applications, for New Single Family Dwellings with The City of Naples Building Department. The below listed Items MUST be provided as part of the application in order to successfully submit for a Building Permit. Submittal of ALL Check List Items, as well as the Proposed Building Plans, does not guarantee The Building Permit approval, but will help to minimize the chances of Permit rejection.

1. COMPLETED PERMIT APPLICATION SIGNED BY THE QUALIFIER.
2. COPY OF NOTIFICATION LETTERS AND OFFER SENT TO ADJACENT OWNERS.
3. ONE COPY OF A RECORDED WARRANTY DEED (IF PROPERTY HAS RECENTLY CHANGED OWNERSHIP)
4. ONE - COMPLETE SETS OF PLANS CONTAINING:
 - A. STRUCTURAL PLANS, SIGNED & SEALED BY ARCHITECT or FLORIDA REGISTERED P.E., INCLUDING:
 - (1) GRADE BEAM, FOOTING, SLAB, COLUMN, AND TIEBEAM SCHEDULES AND DETAILS.
 - (2) WIND LOAD DESIGN - PER FBC -R301, W/ EXPOSURE CATEGORY / IMPORTANCE FACTOR, (170 MPH WIND SPEED).
 - (3) TRUSS PLANS, INCL. SPECIAL UPLIFT CONNECTOR SCHEDULE & TRUSS DESIGN APPROVAL STATEMENT FROM. PLAN SIGNING FL REGISTERED P.E. / DESIGN PROFESSIONAL.
 - B. ARCHITECTURAL PLANS, INCLUDING:
 - (1) ZONING DISTRICT.
 - (2) SITE PLAN WITH REQUIRED SETBACKS AND FLOOD ZONE LINES, IF MORE THAN 1 ZONE ON PROPERTY.
 - (3) LOT SIZE AND COVERAGE COMPLIANCE CALCULATIONS PER ZONING DISTRICT REQUIREMENTS.
 - (4) SPATIAL PERCEPTION DRAWINGS.
 - (5) FLOOD INSURANCE RATE INFORMATION i.e 12021C0581H 5/16/2012 AE 8.0
 - (6) HYDROSTATIC FLOOD VENT LOCATION, MANUFACTURER SPECS, & COMPLETE CALCULATIONS FOR EACH ENCLOSED AREA, BELOW FLOOD.
 - (7) NAVD ELEVATIONS ON FLOOR PLAN
 - (8) LOCATION OF MECHANICAL EQUIPMENT.
 - (9) FIREPLACE DETAIL, IF APPLICABLE.
 - (10) SMOKE / CARBON MONOXIDE DETECTORS AS REQUIRED (FBC-R313.1 & FL STATUTE 553.885).
 - (11) HANDICAP BATH ACCESS DOOR, MINIMUM 29in CLEAR ON FIRST FLOOR.
 - (12) WALL SECTION DETAILS (FOUNDATION THRU ROOF) / STAIR DETAILS.
 - (13) ELECTRICAL PLAN, LOAD CALCS, PANEL SCHEDULE(s), RISER DIAGRAM. (PROVIDE ITEM 13 IF APPLICABLE.)
 - (14) FL. REGISTERED P.E. SIGNED & SEALED FOR ELECT. SERVICE CAPACITY GREATER THAN 600 AMPS 240 VOLTS.
 - (15) STORMWATER CONTAINMENT PLAN, SIGNED & SEALED BY A FL REGISTERED P.E. / DESIGN PROFESSIONAL.
 - (16) GARAGE ENTRY DOOR AND SEPARATION AS PER R309.
 - (17) EGRESS REQUIREMENT (SLEEPING ROOM).
 - (18) MECHANICAL EQUIPMENT LOCATION WITHIN ENVELOPE.
5. ATTACHMENTS (STAGGERED DOWN AND STAPLED TO LEFT SIDE) WITH ENERGY CALCULATIONS ON TOP, AND EASY TO REMOVE INCLUDING:
 - A. WINDOW / DOOR/ GARAGE DOOR - MIAMI-DADE N.O.A. OR FL. D.C.A. PRODUCT APPROVALS FOR ALL EXTERIOR OPENINGS.
 - B. ONE COPY OF ENERGY EFFICIENCY CALCULATIONS PER FBC REQUIREMENTS.
 - C. BOUNDARY SURVEY, DRIVEWAY PERMIT, ROW PERMIT.
 - D. CONSTRUCTION SITE MANAGEMENT/MAINTENANCE PLAN PER CITY CODE 16-291.
 - E. ROOF MATERIAL- MIAMI-DADE N.O.A. OR FL D.C.A. PRODUCT APPROVAL.
6. NOTE ANY CHANGE IN ADDRESS FOR NEW CONSTRUCTION ON APPLICATION AND COVER SHEET. (CORNER LOTS).
7. ASSOCIATION APPROVAL REQUIRED FOR-PORT ROYAL AND PARK SHORE.
8. GENERATORS MUST BE SEPARATELY PERMITTED. (GENSET AND HOUSE PERMITS MAY RUN CONCURRENTLY).

Prime Contractor Information:

Contractor: _____ **State Cert/CC Comp Card #:** _____

Job Representative: _____ **Phone #:** _____

Email Address: _____

Address: _____
City State Zip

Architect/Engineer: _____ **Phone #:** _____

Address: _____
City State Zip

Sub-Contractor Information:

Electrical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Low Voltage: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Mechanical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Plumbing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Roofing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Alarm: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Misc.: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Recorded Notice of Commencement must be posted if the project valuation exceeds \$2,500.00
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Contractor's Affidavit:

I certify that all the foregoing information is accurate and that all work must be done in compliance with all applicable laws regulating construction and zoning. I understand **THERE WILL BE A FINAL INSPECTION** of the work permitted herein. Compliance will be strictly enforced. **No work whatsoever will commence until the building permit has been issued.**

- The permit fee will be doubled if work is started without an approved permit.

Print Name of Qualifier

Signature of Qualifier

State of Florida

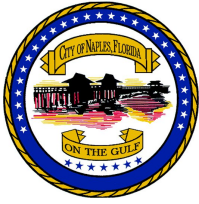
County of _____

The foregoing instrument was acknowledged before me by means of ___physical presence or ___online notarization this ___ day of _____, 20___ by _____, who is ___personally known to me or ___has produced _____ as identification.

(Seal)

Signature, Notary Public - State of Florida

Printed, Typed, or Stamped Name of Notary



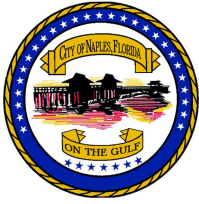
NEW CONSTRUCTION / ADDITION DEMOLITION AND PILE DRIVING CONTRACTORS

The Naples Code of Ordinances, Section 16-291 Construction Site Management, requires contractors and owner-builders involved in the construction of structures to notify (by mail) the owner of properties located within 100 feet of the outer limits of the subject property. Such notification shall take place at least 14 days prior to construction and shall include the contractors or owner-builder phone number, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities.

The contractor or owner-builder must offer all adjacent properties an opportunity to have their properties inspected by an engineer/inspector prior to demolition and/or pile driving. The intent of this inspection is to create a record of conditions prior to work occurring. The contractor or owner-builder must also offer all adjacent properties an opportunity to have on-site seismic monitoring during demolition and/or pile driving. Adjacent properties typically share or touch a common point. (Properties separated by an alley are considered adjacent-properties located across streets and canals are not considered adjacent).

As per Section 16-291, a permit for construction, demolition of an existing structure (tear down) and/or to drive piles (pile driving) will be issued until the contractor of record signs and attests to the "Demo, Pile Driving & New Construction Notification & Offer" form attached to the respective permit application. The contractor must also attach a copy of the letter(s) sent, a list of property owners with addresses, along with a receipt or other proof of mailing.

The contractor of record or the owner-builder shall be the party responsible to insure that the notification and offers have been made and that reasonable effort to comply with the requirements of this ordinance has occurred. Records of these offers shall be maintained by the contractor or owner-builder and be made available to the Building and Zoning Division upon request.



DEMOLITION, PILE DRIVING, & NEW CONSTRUCTION / ADDITION NOTIFICATION & OFFER FORM

Permit Application #: _____

Subject Property Address: _____

Please check all that apply and select N/A for items not applicable:

or N/A: I have notified all property owners within 100 feet of the outer limits of the subject property at least 14 days prior to commencement of construction, demolition and/or pile driving or similar activities. This notification includes: a phone number for the contractor or owner-builder, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities - Required

or N/A: I have made an offer to all adjacent property owners to have an engineer/qualified inspector conduct a pre-demolition or pre-pile driving inspection prior to commencing any of the referenced or similar activities.

or N/A: I have made an offer to all adjacent property owners, to have on-site seismic monitoring during demolition or pile driving.

or N/A: I have attached a copy of the letter(s) sent, a list of property owners with address, and a receipt or other proof of mailing. - Required

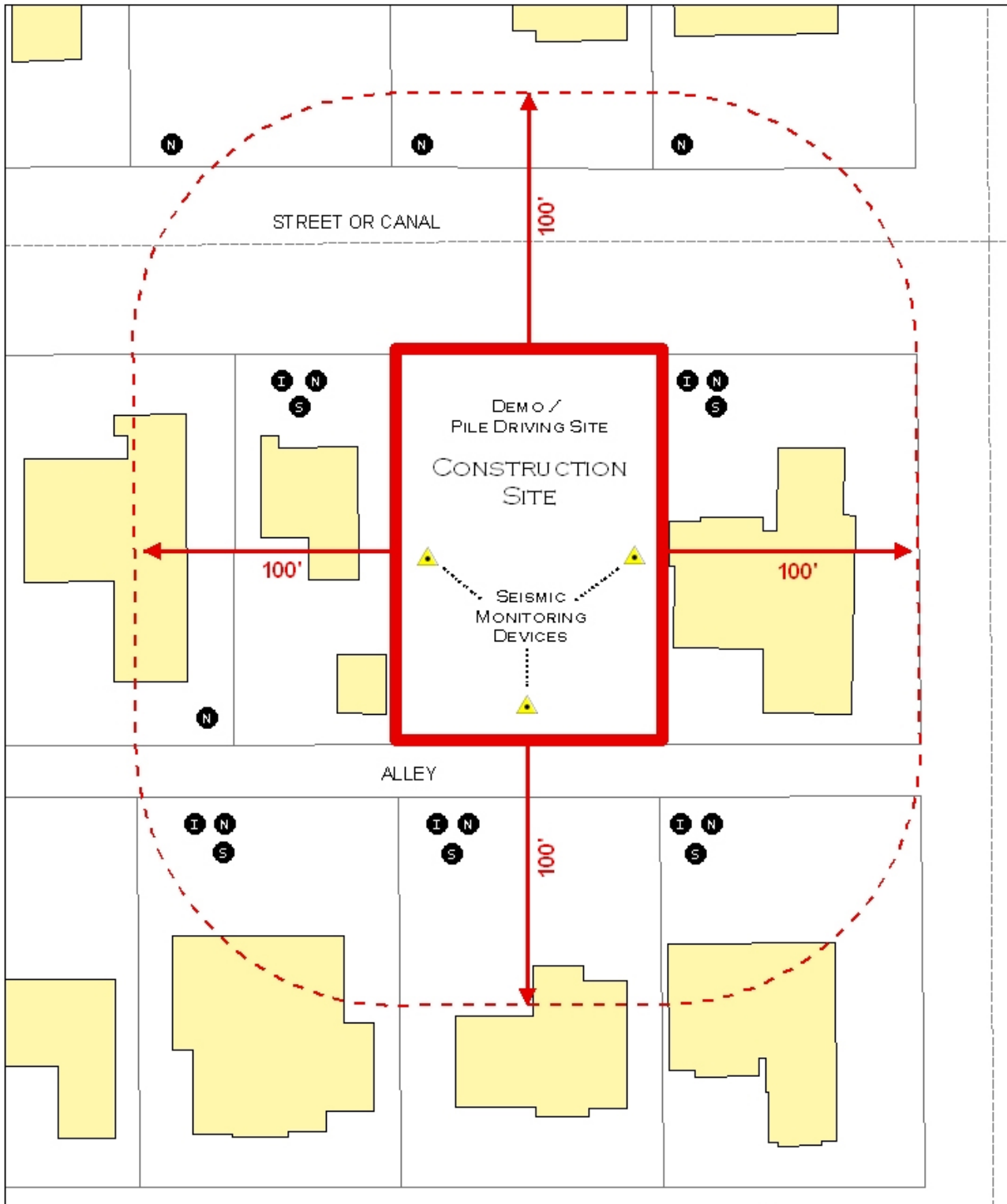
As per the Naples Code of Ordinances, Section 16-291 Construction Site Management, I am attesting to the fact that the above notifications and offers have been made in accordance with the referenced code.

I certify that the above information is true and correct to the best of my knowledge.

Printed Name of Contractor or Owner-Builder

Signature of Contractor or Owner-Builder

Date



January 2007

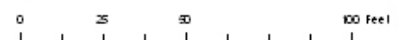
GIS DIVISION

City of Naples
 295 Riverside Circle
 Naples, Florida 34102
 Ord. 16-291

The City of Naples assumes no liability for errors or omissions in the accuracy of this map.

LEGEND

- N** Notification Required
- I** Inspection Offer Required
- S** Seismic Monitoring Offer Required





CITY OF NAPLES
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CONSTRUCTION SITE MANAGEMENT FORM

One copy of a site plan showing the locations of all construction materials must be submitted at time of permit application. One copy of this form and all required plans must be submitted with the building permit application

Permit Application #: _____

Job Address: _____

Property Owner: _____ **24-Hour Contact Number:** _____

Contractor: _____

Type of Work:

- Demolition New Construction Addition Alteration

PLEASE NOTE: UPDATES TO THIS FORM ARE IN **BOLD FONT**

Select Applicable Numbers:

- ___ 1. Basic topographical elevation indicating direction of surface water runoff to protect erosion of soil and water runoff with utility and drainage plan. Show proposed elevations.
- ___ 2. Construction fence - **Include location and dimensions of fence.**
- ___ 3. Silt fence
- ___ 4. **Indicate number of parking spaces** and show stabilized area for parking and access, including **written parking plan for final phase of project.**
- ___ 5. **(2) Signs – City of Naples Construction Site Sign & Job Address Sign.**
- ___ 6. Temporary trailer - Construction trailers 16' x 8' or smaller (on wheels) do NOT require a permit. All other trailers must be submitted on a Temporary Use Construction Permit.
- ___ 7. Chemical toilet
- ___ 8. Dumpster
- ___ 9. Material storage and staging area
- ___ 10. **Material delivery access point**
- ___ 11. Off-site parking
- ___ 12. Site maintenance and cleanliness plan
- ___ 13. Plan for weather emergencies
- ___ 14. **I have read and will comply with City Ordinance Chapter 16 Section 16-291 Construction Site Management.**

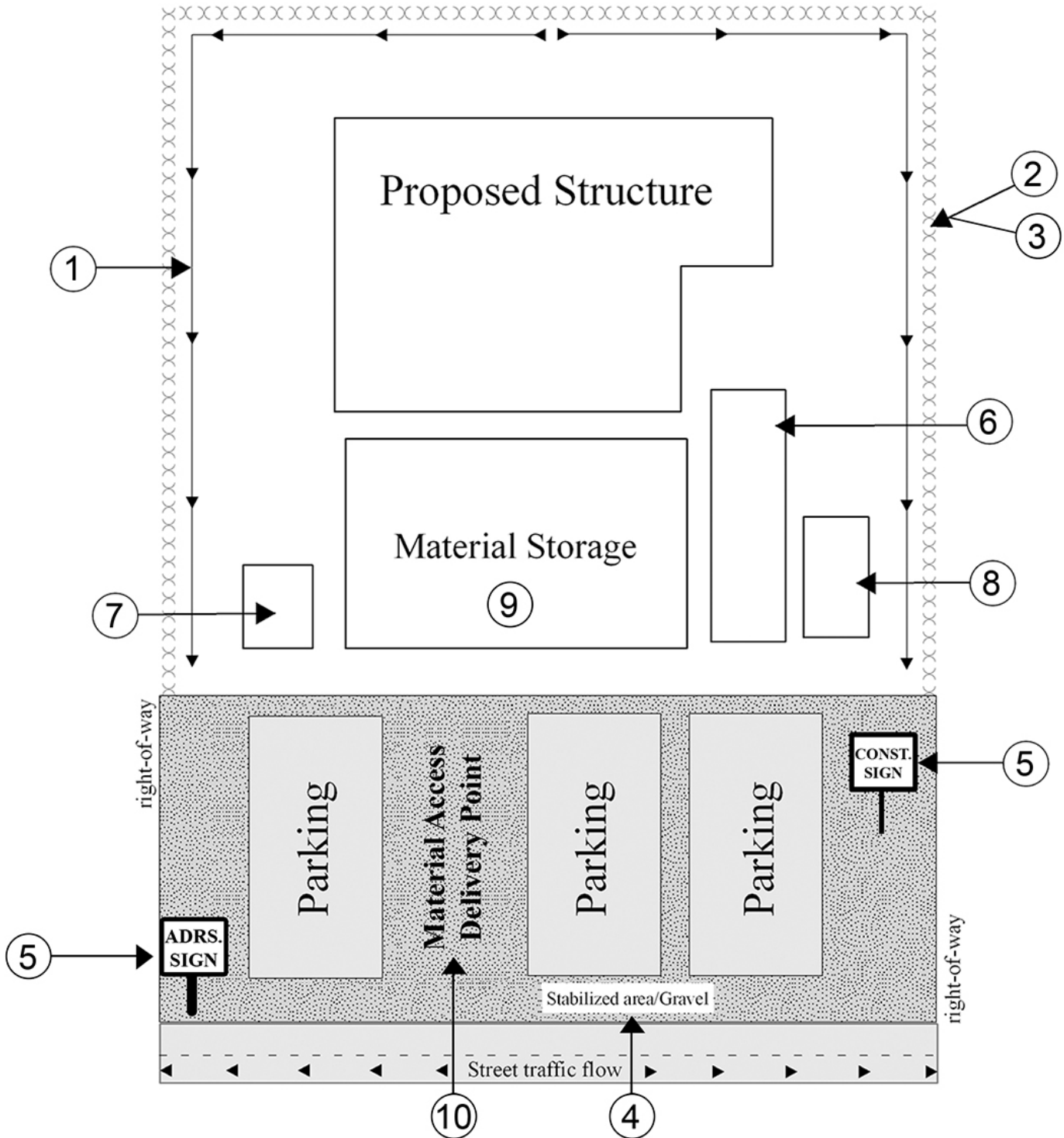
Additional Comments:

Contractor's
 Signature: _____

Building Division Approval: _____

Please Note: Plan must be sized to accommodate the use of readable scale.

Construction Site Management Plan (Sample Plan)



- | | |
|---|-------------------------------------|
| ① Surface Water Run Off Direction | ⑥ Construction Trailer |
| ② 6ft Construction Fence | ⑦ Chemical Toilet |
| ③ Silt Fence | ⑧ Dumpster |
| ④ Stabilized Area For Parking | ⑨ Material Storage and Staging Area |
| ⑤ City of Naples Construction Sign & Address Sign | ⑩ Material Access Delivery Point |