



City of Naples - Building Department

295 Riverside Circle | Naples, Florida 34102

Phone: (239) 213-5020

www.naplesgov.com

**COMMERCIAL ADDITION/ALTERATION
PERMIT APPLICATION**

Florida Building Code, 7th Edition

Job Information: (See Regulations and Information on page 2 for more details.) Permit Application #: _____

Tax/Folio#: _____ Legal Description: _____

Job Address: _____

Property Owner: _____ Tenant Name: _____

Contractor: _____ Occupancy Class: _____

Business Type: _____ Previous Business Type: _____

Est. Cost: \$ _____ Permit Expiration Date: _____

WORK AREA MUST REFLECT ENTIRE ROOM AREAS IN WHICH EACH TYPE OF WORK WILL BE PERFORMED.

<u>Work Area for each Trade</u>	<u>Addition</u>	<u>Alteration</u>	# stories above grade: _____
Building square ft.:	_____	_____	Roof Type: _____ # of Squares: _____
Electrical square ft.:	_____	_____	Post Tension: Yes No
Plumbing square ft.:	_____	_____	Type of Termite Protection: _____
Mechanical square ft.:	_____	_____	Site Work Sq Ft: _____
Fire Sprinkler square ft.:	_____	_____	ROW Permit: Yes No ROW Sq Ft: _____
Fire Alarm square ft.:	_____	_____	Existing Fire Sprinkler System: Yes No
			Existing Fire Alarm System: Yes No

Construction Type per Table 601 FBC (select one): IA IB IIA IIB IIIA IIIB IV VA VB

PLAN COVER SHEET MUST INCLUDE CONSTRUCTION TYPE AND OCCUPANCY CLASS.

Description of Work: _____

Check all items included with permit package (*Italicized items are REQUIRED with all applications*):

One completely assembled sets of plans consisting of the following:

- Separate 8.5x11 Detailed letter of Scope of Work*
- Architectural Floor Plans*
- Construction Site Management Plan*
- Structural Drawings
- Fire Alarm / Sprinkler Plans
- Life Safety Pla
- Electrical w/Loa
- Plumbing
- Mechanical
- Water Meter Sizing Chart
- One Copy of the following must also be included for additions:
- Survey - Elevation Certificate*
- Site Plan w/Setbacks*
- Energy Calculations*
- Truss Layouts & Design Loads
- Storm Water Drainage Plan
- DRB & Other Approvals

Lot / Building Data (for additions only):

Lot width: _____ ft. Lot depth: _____ ft. Lot area: _____ SF Current Flood Zone: _____

Actual Setbacks (feet): Front: _____ Rear: _____ Left Side: _____ Right Side: _____

Max. Buildable area allowed: _____ SF New Bldg. footprint: _____ SF

New Gross square footage: _____ SF New Bldg. height: _____ FT

New Bldg. depth: _____ FT New Bldg. width: _____ FT

Regulations and Information (*Italicized items are required with ALL applications*):

- ~~1. Required plan size is 24" x 36" maximum, on standard sized paper, and to scale (minimum 3/16"=1').~~
- 2. All plans must include a "Square Footage Legend" on the title page. This information must be broken down by "AC" and "Non-AC" square footage.**
3. Exterior windows and doors shall comply with FBC, 7th Edition, Existing Building Section 606, and FBC, 7th Edition, Section 1609.1.2 for wind loads and impact protection, and Section 705.8.5 for vertical fire separation. Opening pressures and Miami-Dade NOA or FL State Product Approvals are required.

Electrical:

1. Electrical load calculations must be submitted with plans when electrical work exceeds 30 amps.
2. If the electrical service is equal to or greater than 800 amps, a Florida Registered Engineer must sign the electrical plans with a raised seal.

Fire:

1. All plans must identify exit signs, emergency lighting, fire extinguishers, fire rated walls, floors, ceilings and means of egress. Alterations exceeding 50% of the building's value must update fire protection.
2. Hood fire suppression system plans are required when any type of food is being cooked.
3. Plans must include fire sprinkler and fire alarm system information. 61G15-32 Fire Sprinkler and 61G15-33 Fire Alarm information will be accepted in lieu of shop drawings at plan submittal. 61G information does not need to be stamped by the EOR unless over 50 heads fire sprinkler or \$5000.00 fire alarm is anticipated; however, basic information must be provided at plan submittal or plans will not be reviewed by Fire.

Additions:

1. Max building Area must be calculated for any additions that increase the building footprint.
- 2. NO construction activity is allowed after slab is poured until a Spot Survey has been submitted to and APPROVED by the City of Naples Building Department.**
3. All accessory structures must be permitted separately. Including but not limited to fences, walls, pools, screen enclosures and generators.

Flood & DEP:

1. If this site is located in an AE, AH or VE Zone, additional information may be required on a FEMA Form (Additions/ Alterations Form for Structures located below the Base Flood Elevation).
2. Additions may require a Spot Elevation Certificate and will always require a Final Elevation Certificate.
3. Projects west of the Coastal Construction Control Line (CCCL) may require prior approval from DEP and the City of Naples Natural Resource Manager.

General:

1. Approval of civil drawings is required prior submittal to the Building Department. Driveway width, setbacks and parking must be shown on the site plans. Verify if a driveway permit is to be acquired from the City of Naples, Collier County, or the State of Florida Department of Transportation (DOT).
2. Other supporting documents, such as variances, conditional use permits, DRB approvals, and GDSPs must accompany your plans.
3. If the building or tenant space had a different occupancy type before this permit, a letter from Collier County Impact Fee Administration will be required to verify road impact fee credits or fees due.
4. A minimum 750-gallon grease interceptor is required when any type of food is being cooked.

Fees:

Fee for this permit is \$0.50 per square foot of proposed work area for the building permit, or a minimum fee of \$150.00. Other required permits (electrical, plumbing, mechanical etc.) will be charged as per City Fee Ordinance. A plan review fee, equal to 20% of permit fee, will be due at time of application. If plan review fee is less than \$30.00, it will be collected at time permit is issued, or upon withdrawal. The plan review fee is not refundable, nor is it credited to any other fee. Building permit surcharge: \$0.01 per square foot. A fee of \$100.00 will be charged for required fire plan review, \$70.00 for low voltage inspections, Zoning review fee: \$50.00, or \$0.05 per square foot of affected enclosed space, whichever is greater, for permits that include new or renovated square footage. Initial Required Building & Fire Code Inspections: \$35.00 each inspection. The Public Art Fund is \$1.00 per sq. ft. of total project. This fee applies to a new Building, structure, or addition of 1,000 sq. ft. or more.

It is the contractor's responsibility to contact the Building Department when all final inspections are complete and obtain a Certificate of Occupancy or a Certificate of Completion.

Prime Contractor Information:

Contractor: _____ **State Cert/CC Comp Card #:** _____

Job Representative: _____ **Phone #:** _____

Email Address: _____

Address: _____
City State Zip

Architect/Engineer: _____ **Phone #:** _____

Address: _____
City State Zip

Sub-Contractor Information:

Electrical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Low Voltage: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Mechanical: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Plumbing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Roofing: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Alarm: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Sprinkler: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Suppression: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Fire Underground: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Misc.: _____ **State Cert/CC Comp Card #:** _____

Address: _____

Recorded Notice of Commencement must be posted if the project valuation exceeds \$2,500.00
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Contractor's Affidavit:

I certify that all the foregoing information is accurate and that all work must be done in compliance with all applicable laws regulating construction and zoning. I understand **THERE WILL BE A FINAL INSPECTION** of the work permitted herein. Compliance will be strictly enforced. **No work whatsoever will commence until the building permit has been issued.**

- The permit fee will be doubled if work is started without an approved permit.

Print Name of Qualifier

Signature of Qualifier

State of Florida

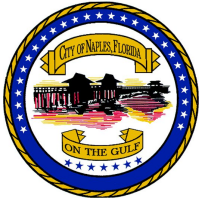
County of _____

The foregoing instrument was acknowledged before me by means of ___physical presence or ___online notarization
this ___ day of _____, 20___ by _____, who is
___personally known to me or ___has produced _____ as identification.

Signature, Notary Public - State of Florida

(Seal)

Printed, Typed, or Stamped Name of Notary



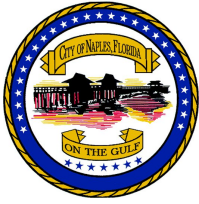
NEW CONSTRUCTION / ADDITION DEMOLITION AND PILE DRIVING CONTRACTORS

The Naples Code of Ordinances, Section 16-291 Construction Site Management, requires contractors and owner-builders involved in the construction of structures to notify (by mail) the owner of properties located within 100 feet of the outer limits of the subject property. Such notification shall take place at least 14 days prior to construction and shall include the contractors or owner-builder phone number, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities.

The contractor or owner-builder must offer all adjacent properties an opportunity to have their properties inspected by an engineer/inspector prior to demolition and/or pile driving. The intent of this inspection is to create a record of conditions prior to work occurring. The contractor or owner-builder must also offer all adjacent properties an opportunity to have on-site seismic monitoring during demolition and/or pile driving. Adjacent properties typically share or touch a common point. (Properties separated by an alley are considered adjacent-properties located across streets and canals are not considered adjacent).

As per Section 16-291, a permit for construction, demolition of an existing structure (tear down) and/or to drive piles (pile driving) will be issued until the contractor of record signs and attests to the "Demo, Pile Driving & New Construction Notification & Offer" form attached to the respective permit application. The contractor must also attach a copy of the letter(s) sent, a list of property owners with addresses, along with a receipt or other proof of mailing.

The contractor of record or the owner-builder shall be the party responsible to insure that the notification and offers have been made and that reasonable effort to comply with the requirements of this ordinance has occurred. Records of these offers shall be maintained by the contractor or owner-builder and be made available to the Building Department upon request.



DEMOLITION, PILE DRIVING, & NEW CONSTRUCTION / ADDITION NOTIFICATION & OFFER FORM

Permit Application #: _____

Subject Property Address: _____

Please check all that apply and select N/A for items not applicable:

or N/A: I have notified all property owners within 100 feet of the outer limits of the subject property at least 14 days prior to commencement of construction, demolition and/or pile driving or similar activities. This notification includes: a phone number for the contractor or owner-builder, the phone number of the Building and Zoning after-hours Construction Site Inspector, and the timetable for construction activities - Required

or N/A: I have made an offer to all adjacent property owners to have an engineer/qualified inspector conduct a pre-demolition or pre-pile driving inspection prior to commencing any of the referenced or similar activities.

or N/A: I have made an offer to all adjacent property owners, to have on-site seismic monitoring during demolition or pile driving.

or N/A: I have attached a copy of the letter(s) sent, a list of property owners with address, and a receipt or other proof of mailing. - Required

As per the Naples Code of Ordinances, Section 16-291 Construction Site Management, I am attesting to the fact that the above notifications and offers have been made in accordance with the referenced code.

I certify that the above information is true and correct to the best of my knowledge.

Printed Name of Contractor or Owner-Builder

Signature of Contractor or Owner-Builder

Date



CITY OF NAPLES
 295 Riverside Circle
 Naples, FL 34102
 (239) 213-5020
 www.naplesgov.com

CONSTRUCTION SITE MANAGEMENT FORM

One copy of a site plan showing the locations of all construction materials must be submitted at time of permit application. One copy of this form and all required plans must be submitted with the building permit application.

Permit Application #: _____

Job Address: _____

Property Owner: _____ **24-Hour Contact Number:** _____

Contractor: _____

Type of Work:

- Demolition New Construction Addition Alteration

PLEASE NOTE: UPDATES TO THIS FORM ARE IN **BOLD FONT**

Select Applicable Numbers:

- ___ 1. Basic topographical elevation indicating direction of surface water runoff to protect erosion of soil and water runoff with utility and drainage plan. Show proposed elevations.
- ___ 2. Construction fence - **Include location and dimensions of fence.**
- ___ 3. Silt fence
- ___ 4. **Indicate number of parking spaces** and show stabilized area for parking and access, including **written parking plan for final phase of project.**
- ___ 5. **(2) Signs – City of Naples Construction Site Sign & Job Address Sign.**
- ___ 6. Temporary trailer - Construction trailers 16' x 8' or smaller (on wheels) do NOT require a permit. All other trailers must be submitted on a Temporary Use Construction Permit.
- ___ 7. Chemical toilet
- ___ 8. Dumpster
- ___ 9. Material storage and staging area
- ___ 10. **Material delivery access point**
- ___ 11. Off-site parking
- ___ 12. Site maintenance and cleanliness plan
- ___ 13. Plan for weather emergencies
- ___ 14. **I have read and will comply with City Ordinance Chapter 16 Section 16-291 Construction Site Management.**

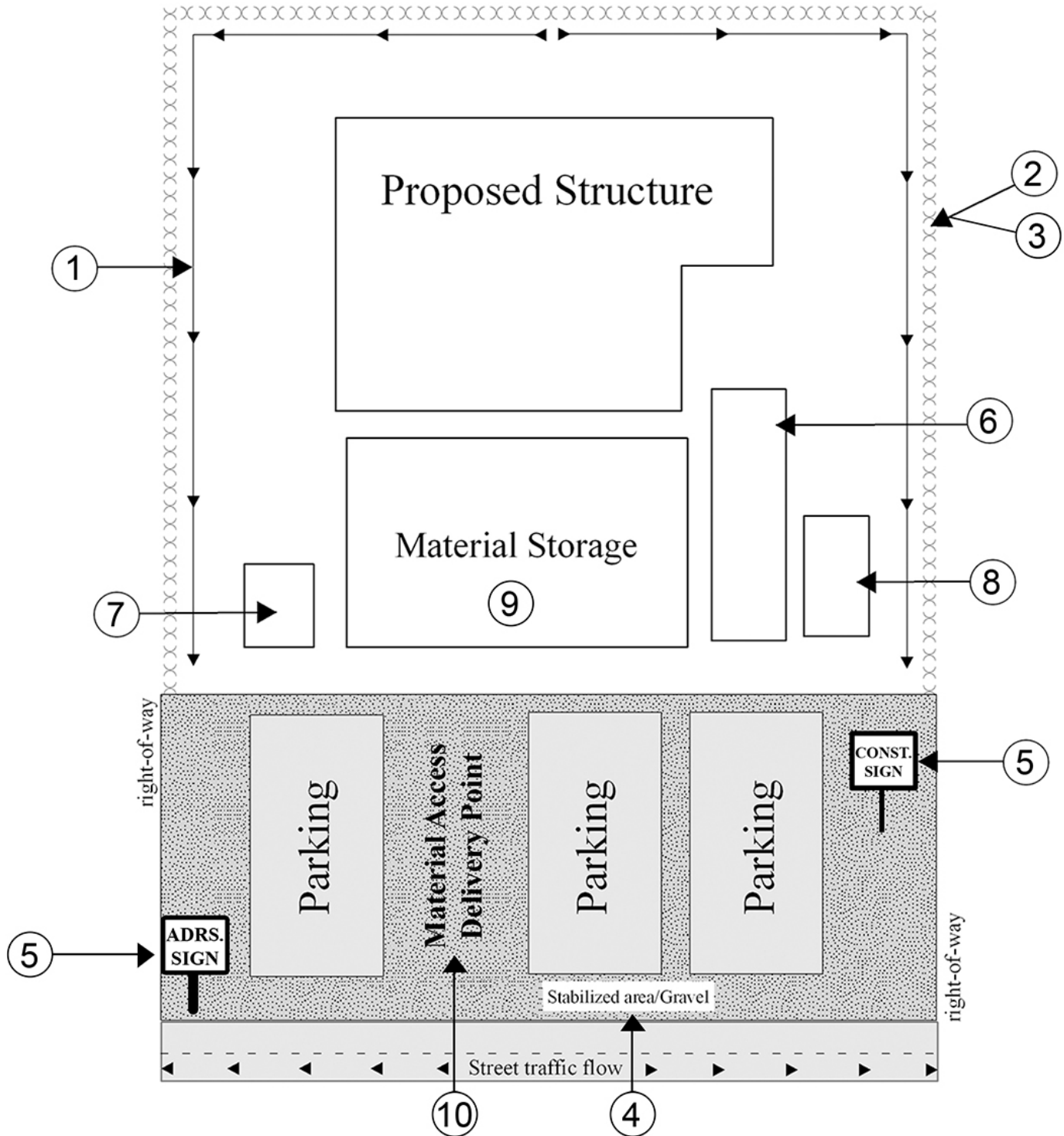
Additional Comments:

Contractor's
 Signature: _____

Building Division Approval: _____

Please Note: Plan must be sized to accommodate the use of readable scale.

Construction Site Management Plan (Sample Plan)



- | | |
|---|-------------------------------------|
| ① Surface Water Run Off Direction | ⑥ Construction Trailer |
| ② 6ft Construction Fence | ⑦ Chemical Toilet |
| ③ Silt Fence | ⑧ Dumpster |
| ④ Stabilized Area For Parking | ⑨ Material Storage and Staging Area |
| ⑤ City of Naples Construction Sign & Address Sign | ⑩ Material Access Delivery Point |